

Sub trades require separate permits **Prior approval is required for all third inspections (Except Footings)** **Reviewed under the 2021 Virginia Residential Code (VRC)** **Approved plans must be printed in COLOR and on site AT ALL TIMES**

BR2025-00648

BR2025-00647

BR2025-00646



STAGS TRAIL

PAD "M"

EMERALD SERIES

BUILD SET - REVISION - 06/02/2025

HVAC duct pressure test required per 1103.3.3 if HVAC ducts or equipment are located outside conditioned space

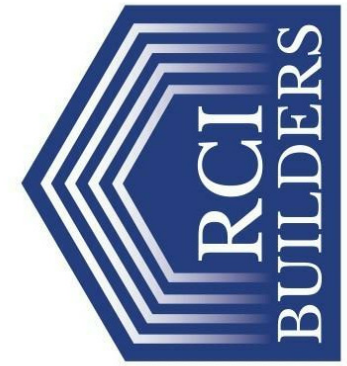
Provide engineer stamped truss diagrams and floor layouts at time of inspection



9245 SHADY GROVE RD., SUITE 200

MECHANICSVILLE, VA 23116

PHONE: 804-249-2818



STAGS TRAIL

ELEVATIONS
PAD "M"

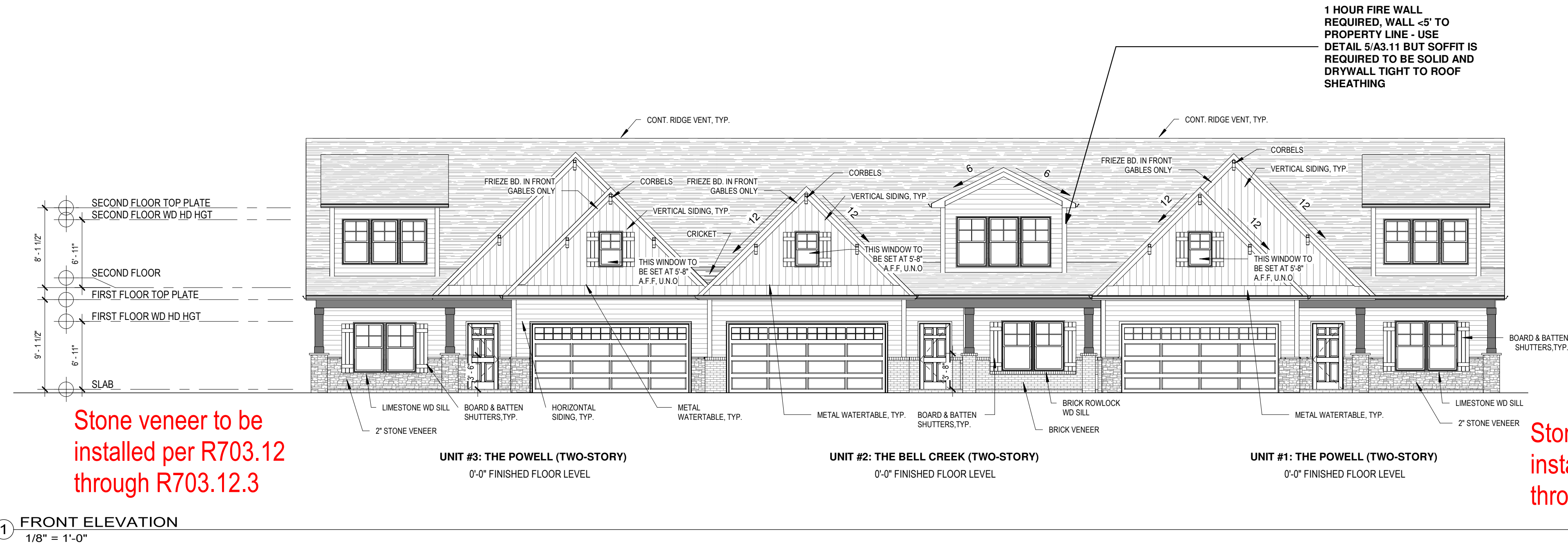
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CW

DATE:
06/02/2025

REVISION:

NUM	DATE	REV BY	DESCRIPT.
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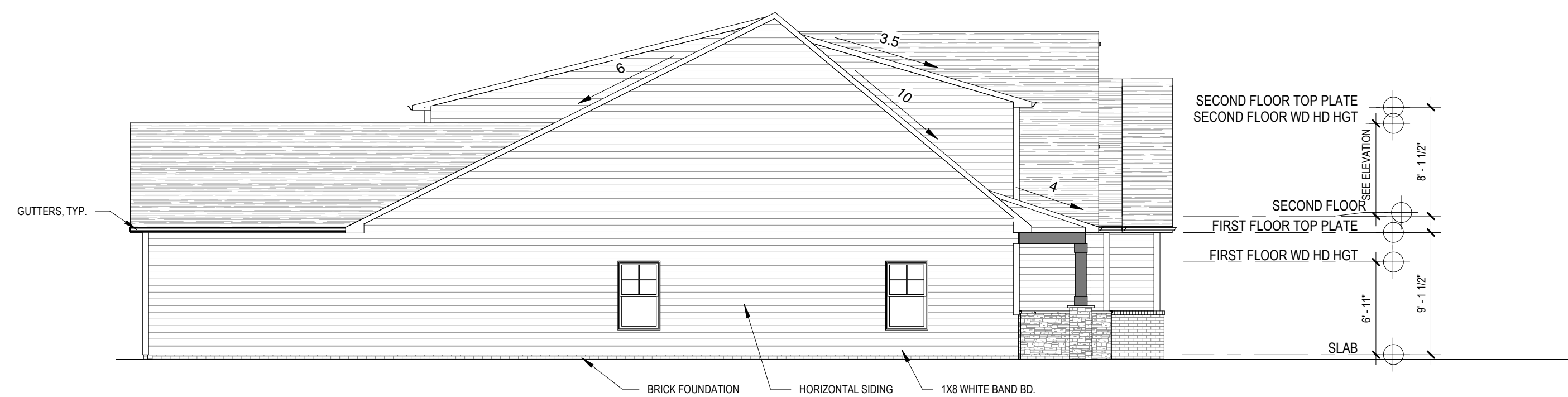
A2.1



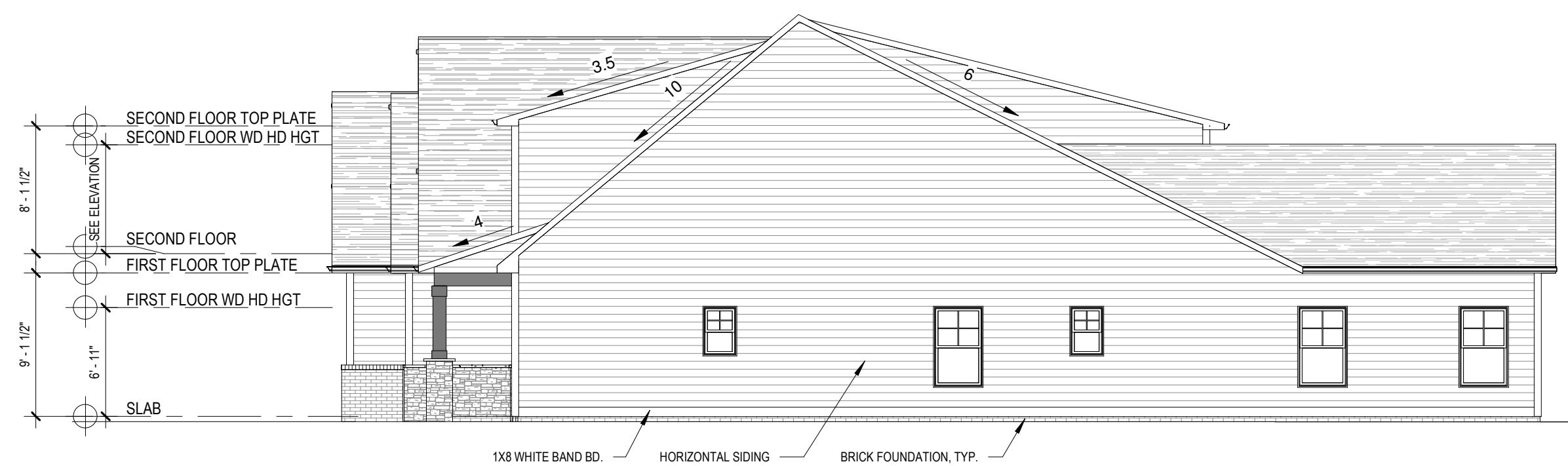
① FRONT ELEVATION
1/8" = 1'-0"



② REAR ELEVATION
1/8" = 1'-0"



④ LEFT ELEVATION
1/8" = 1'-0"



③ RIGHT ELEVATION
1/8" = 1'-0"



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A3.1

A  4" BRICK & 8" CMU.

B  4" BRICK & 4" CMU.

C  8" CMU W/ STONE VENEER

D  12" CMU

E  8" CMU

— — — — FOOTING BELOW

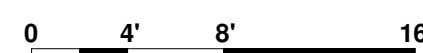
9 THICKENED SLAB DETAIL
3/4" = 1'-0"

② STEM WALL REINFORCEMENT
1/2" = 1'-0"

10 GARAGE SLAB DETAIL
3/4" = 1'-0"



**1/2" ANCHOR BOLTS MAX 6' O.C. AND 4"-12" FROM SILL PLATE ENDS
EMBED ANCHOR BOLTS MIN. 7". EXTERIOR WALLS AND INTERIOR
BEARING AND BRACED WALLS**



PLAN NOTES	
NUM	NOTE
1	10"x10" TREATED WOOD COLUMN WRAPPED IN PVC OVER BRICK PIER
2	(2)2X10 BEAM ABOVE
3	DOUBLE SIDED GAS FIREPLACE W/ SURROUND & MANTLE. PROVIDE SPECS.
4	R.O. 16'-4" X 7'-1" GARAGE DOOR W/ (1) ROW OF WINDOWS
5	GAS COOKTOP W/ HOOD ABOVE. VENT TO EXTERIOR
6	RAIL W/ PICKETS OVER SLOPED KNEEWALL
7	CENTER OF VAULT
8	VAULT EXTENTS
9	3'-0" WIDE X 6'-8" HIGH CASED OPENING
10	MASONRY/CONC. SCREENED PORCH W/ 6"x6" TREATED POSTS IN VINYL SLEEVES. RAILINGS TO BE WHITE VINYL
11	PARKING BOLLARD W/ WATER HEATER
12	6'-8" DOUBLE WALL
13	2X6 STUD WALL
14	"PRE-BATT" + PRE SHEETROCK" W/ 5/8" TYPE "X" ALONG TUB/SHOWER WALL. (DO NOT INSTALL TUB/SHOWER UNTIL 5/8" SHEETROCK IS INSTALLED)
15	KNEEWALL
16	APPROX. 8'-0" CEILING LINE
17	60" VANITY W/ DRAWER STACK
18	WEATHERSTRIPPING AROUND ACCESS PANEL. SCREW FRAME INTO PLACE. DO NOT NAIL
19	42" VANITY
20	32"x60" FIBERGLASS TUB/SHOWER
21	48" VANITY W/ DRAWER STACK
22	UL #364 1-HR FIRERATED WALL
23	UL #336 2-HR FIRERATED WALL (2X4 STUD WALL)
24	UL #336 2-HR FIRERATED WALL (2X6 STUD WALL)
25	16'-0" FENCE PANEL (APPROX. LENGTH)
26	DOUBLE WALL
27	EXTEND BEARING WALL OVER COMMON GARAGE WALL FOR TRUSS BEARING PER TRUSS LAYOUT
28	GAS SEAT. SEE DETAIL 14
29	ZERO-ENTRY CERAMIC SHOWER W/ BENCH, CORNER SHELVES & GLASS DOOR
30	BEARING WALL
31	10"x10" TREATED WOOD COLUMN WRAPPED IN PVC OVER STONE PIER
32	MIN. 12" LANDING AT TOP OF STAIRS
33	GAS FIREPLACE W/ MANTEL & SURROUND. PROVIDE SPECS.
34	36" VANITY

STAGS TRAIL: SQUARE FOOTAGE

UNIT #1 POWELL: FINISHED SQ.FT.
FIRST FLOOR: 2101 S.F.
SECOND FLOOR: 448 S.F.
TOTAL: 2550 S.F.

UNFINISHED SQ.FT.
UNFIN. STOR/MECH.: 219 S.F.
FRONT PORCH: 136 S.F.
GARAGE: 436 S.F.

UNIT #3 POWELL: FINISHED SQ.FT.
FIRST FLOOR: 1878 S.F.
SECOND FLOOR: 54 S.F.
TOTAL: 1932 S.F.

UNFINISHED SQ.FT.
FRONT PORCH: 136 S.F.
GARAGE: 436 S.F.
UNFIN. SECOND FLOOR: 613 S.F.

NOTE: ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF EXTERIOR WALL SHEATHING OR FACE OF STUD OR CENTERLINE OF WALL, U.N.O.

UNIT #2 BELL CREEK: FINISHED SQ.FT.
FIRST FLOOR: 1641 S.F.
SECOND FLOOR: 67 S.F.
TOTAL: 1708 S.F.

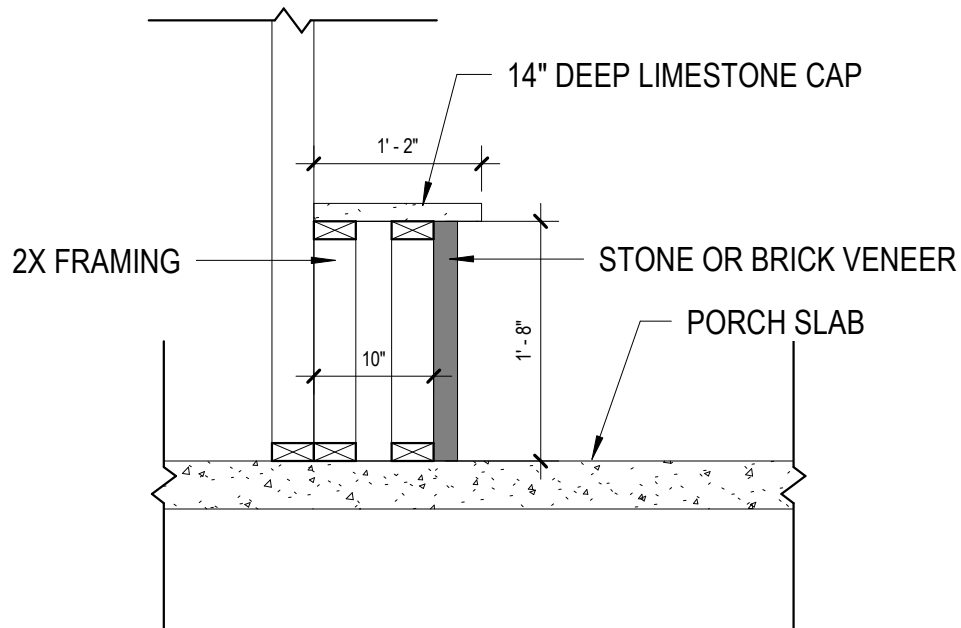
UNFINISHED SQ.FT.
FRONT PORCH: 142 S.F.
UNFIN. SECOND FLOOR: 314 S.F.
UNFIN. STORAGE/MECH.: 312 S.F.
REAR PORCH: 68 S.F.
GARAGE: 436 S.F.

NOTES:
MIN. 22"x30" ATTIC ACCESS TO ALL ATTIC AREAS THAT EXCEED 30" IN HEIGHT AND 30 SQ.FT

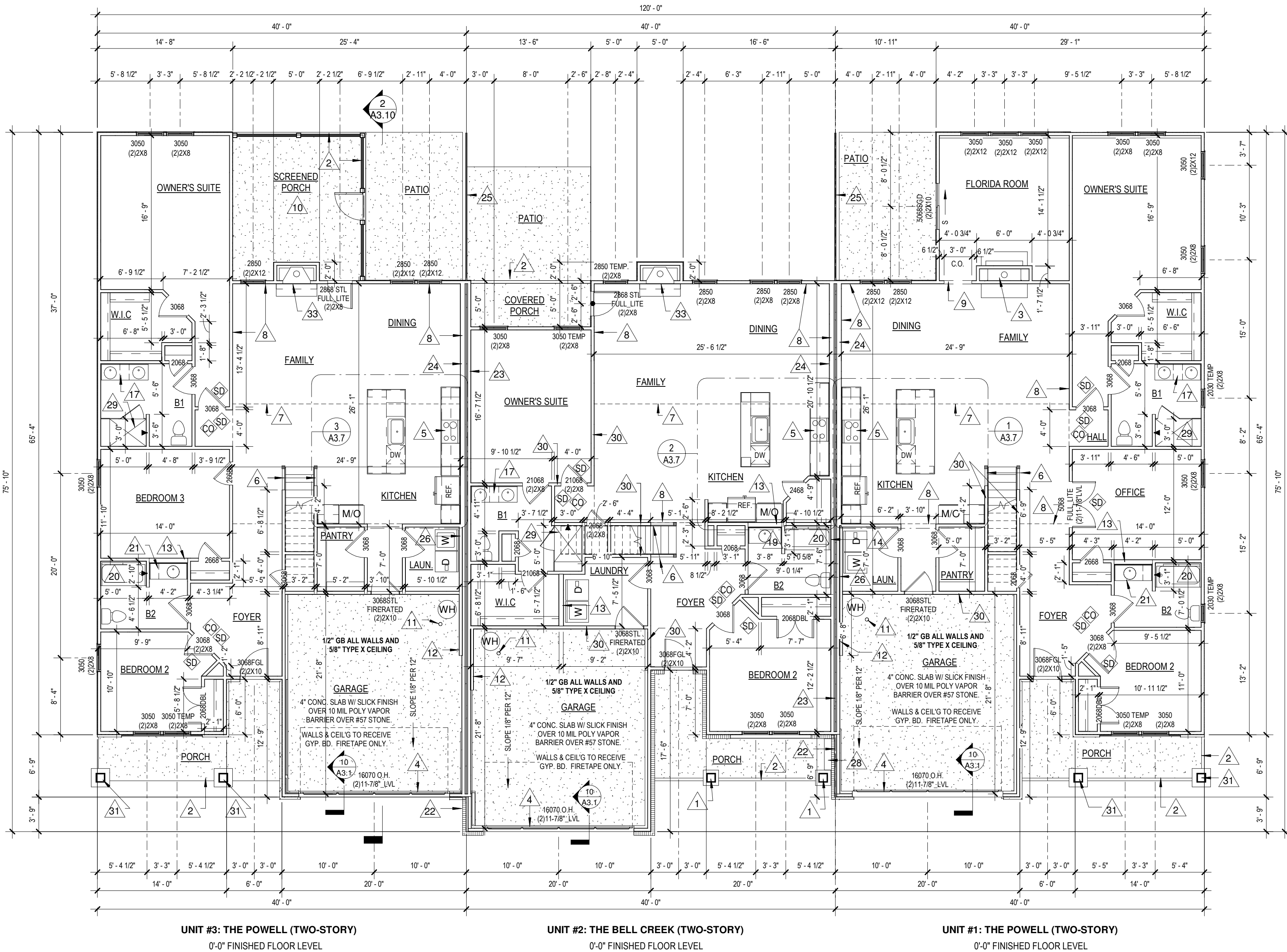
HVAC DUCT PRESSURE TEST REQUIRED PER N1103.3.3 IF HVAC DUCTS OR EQUIPMENT ARE LOCATED OUTSIDE CONDITIONED SPACE

CONTINUOUS OR INTERMITTENT MECHANICAL VENTILATION REQUIRED PER M1507.3.3

SD/CO TO BE MIN. 3' FROM FULL BATH DOOR IF POSSIBLE



14 GAS SEAT DETAIL
3/4" = 1'-0"



1 FIRST FLOOR FRAMING PLAN
1/8" = 1'-0"

STAGS TRAIL

FIRST FLOOR FRAMING PLAN
PAD "M"

DRAWN BY:
CW

DATE:
06/02/2025

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A3.2

PLAN NOTES	
NUM	NOTE
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31	10"X10" TREATED WOOD COLUMN WRAPPED IN PVC OVER STONE PIER
32	MIN. 12" LANDING AT TOP OF STAIRS
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34	36" VANITY

STAGS TRAIL: SQAURE FOOTAGE

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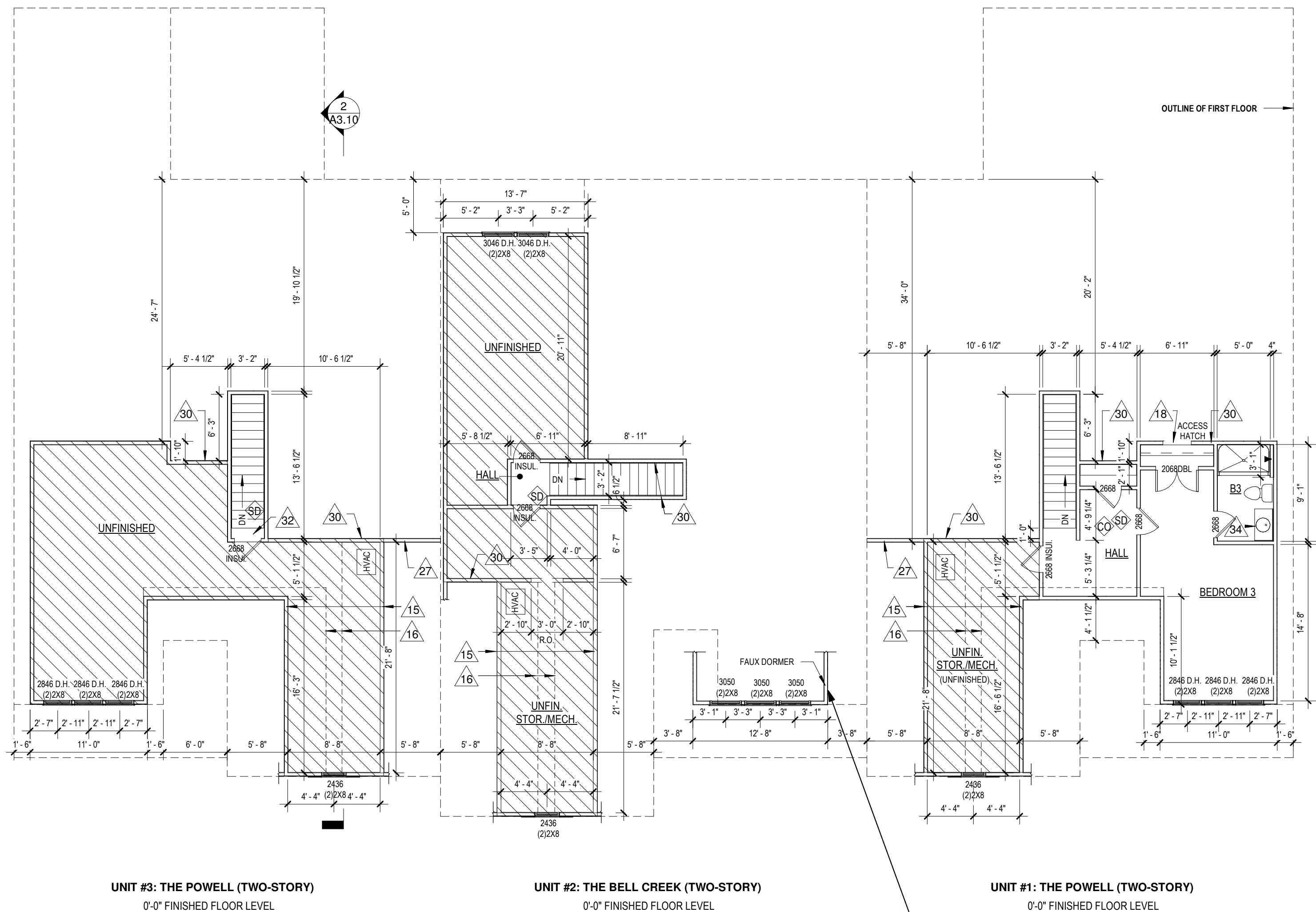
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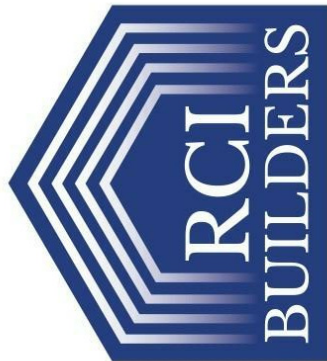
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UNFIN. STORAGE/MECH.: 312 S.F.
REAR PORCH: 68 S.F.
GARAGE: 436 S.F.



1 SECOND FLOOR FRAMING PLAN
1/8" = 1'-0"

0 4' 8' 16'

9245 SHADY GROVE RD.
SUITE 200
MECHANICSVILLE, VA 23116
PHONE: 804-249-2818



STAGS TRAIL
SECOND FLOOR FRAMING PLAN
PAD "M"

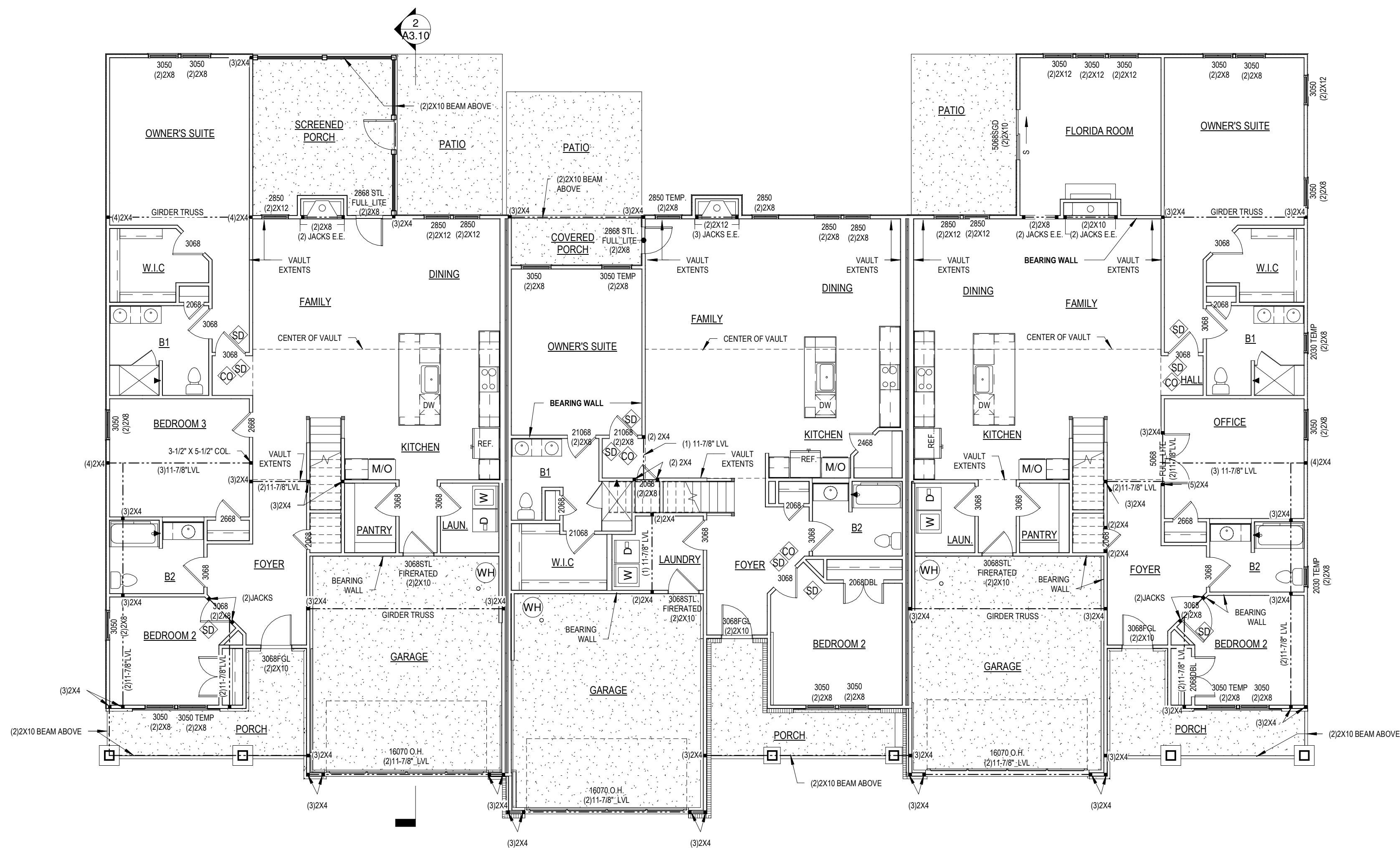
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A3.3



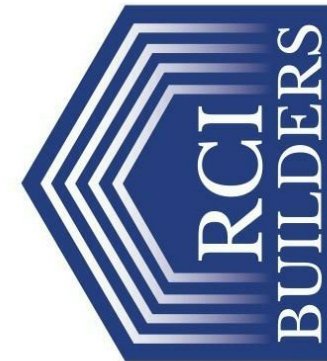
UNIT #3: THE POWELL (TWO-STORY)
0'-0" FINISHED FLOOR LEVEL

UNIT #2: THE BELL CREEK (TWO-STORY)
0'-0" FINISHED FLOOR LEVEL

UNIT #1: THE POWELL (TWO-STORY)
0'-0" FINISHED FLOOR LEVEL

1 STRUCTURAL LAYOUT
1/8" = 1'-0"

1/2" ANCHOR BOLTS MAX 6' O.C. AND 4"-12" FROM SILL PLATE ENDS.
EMBED ANCHOR BOLTS MIN. 7". EXTERIOR WALLS AND INTERIOR
BEARING AND BRACED WALLS



STAGS TRAIL
STRUCTURAL LAYOUT
PAD "M"

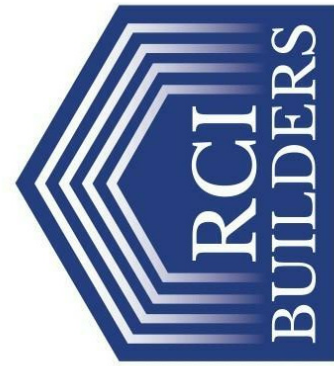
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A3.4



STAGS TRAIL
FIRST FLOOR FINISH PLAN
PAD "M"

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06/02/2025

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A3.5



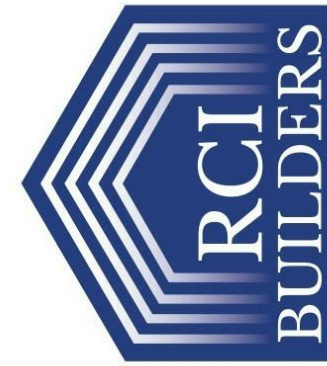
1 FIRST FLOOR FINISH PLAN
1/8" = 1'-0"

PLAN SYMBOL LEGEND

VINYL	CARPET	CONCRETE	LAMINATED WOOD	STAMPED CONCRETE	CERAMIC	LVP OR LVT
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0 4' 8' 16'

9245 SHADY GROVE RD.
SUITE 200
MECHANICSVILLE, VA 23116
PHONE: 804-249-2818



STAGS TRAIL
SECOND FLOOR FINISH PLAN
PAD "M"

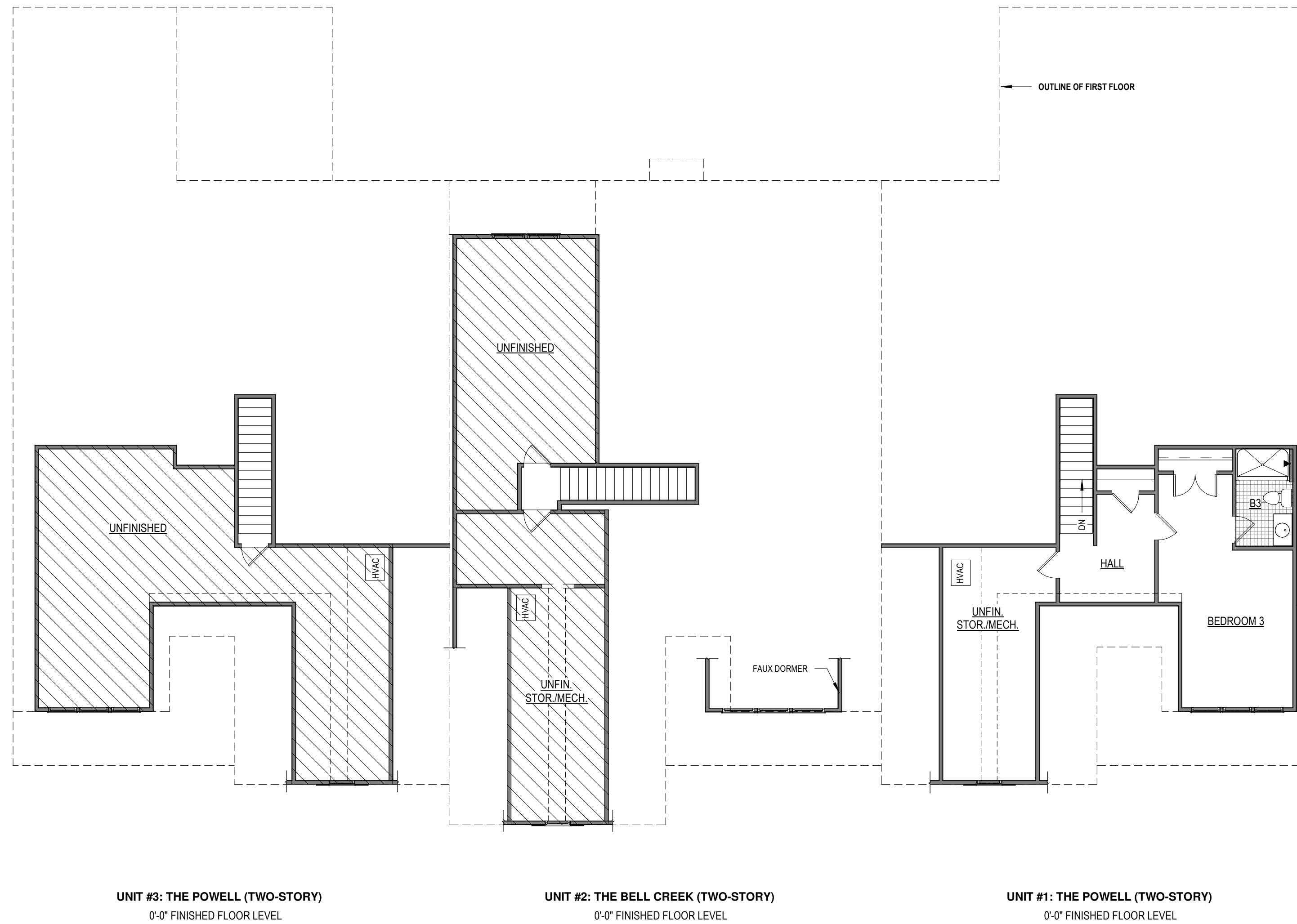
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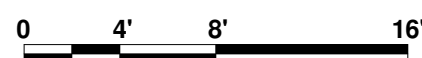
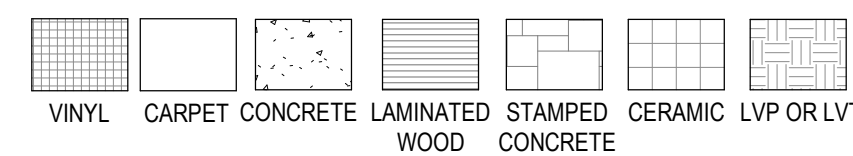
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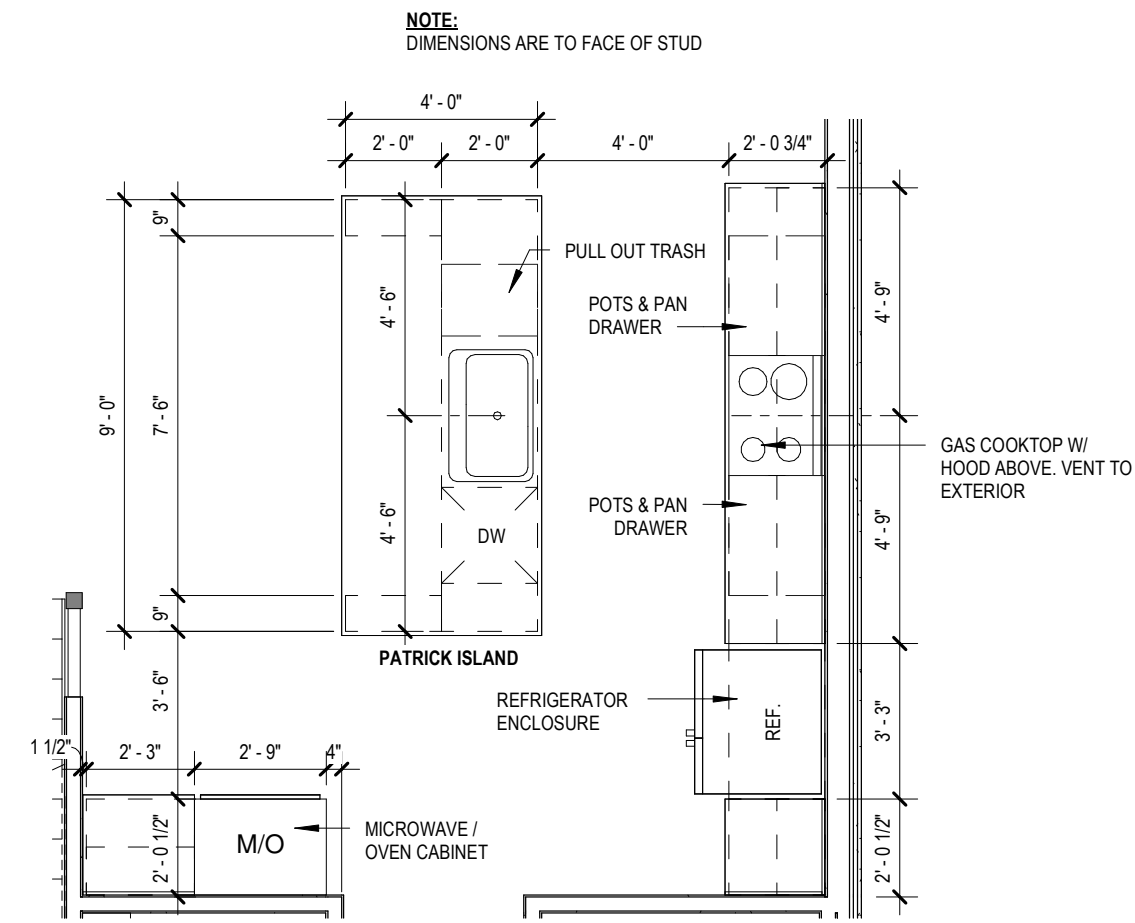
A3.6



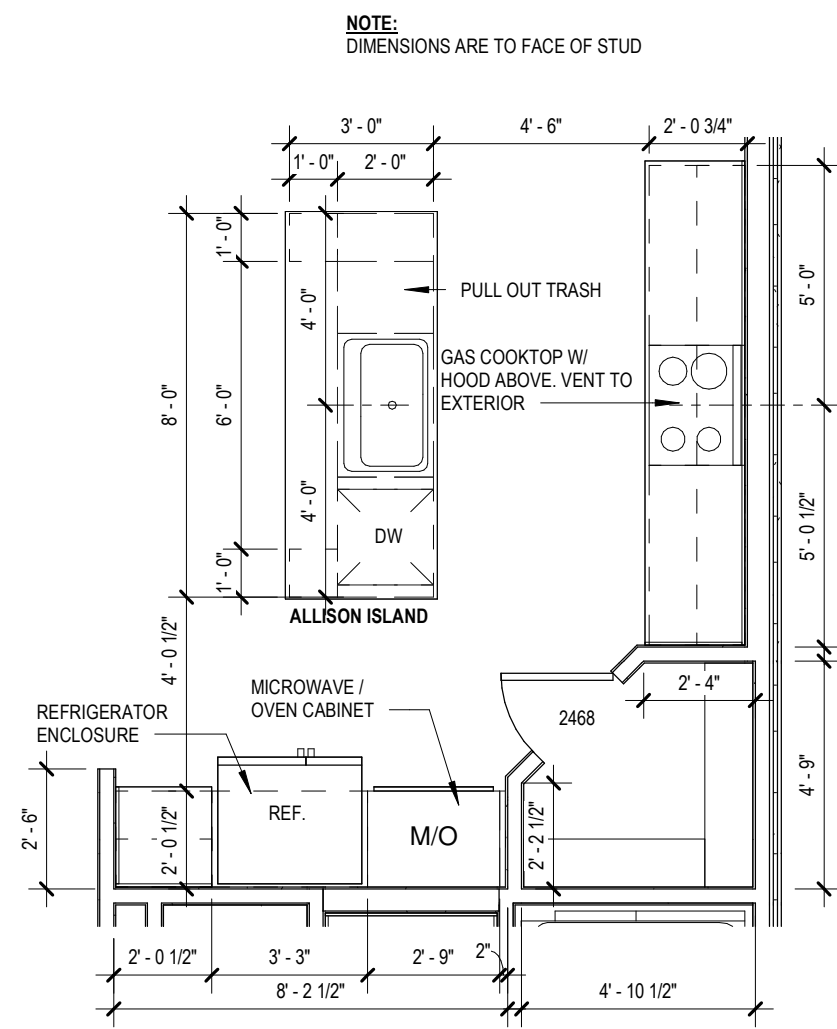
① SECOND FLOOR FINISH PLAN
1/8" = 1'-0"

PLAN SYMBOL LEGEND

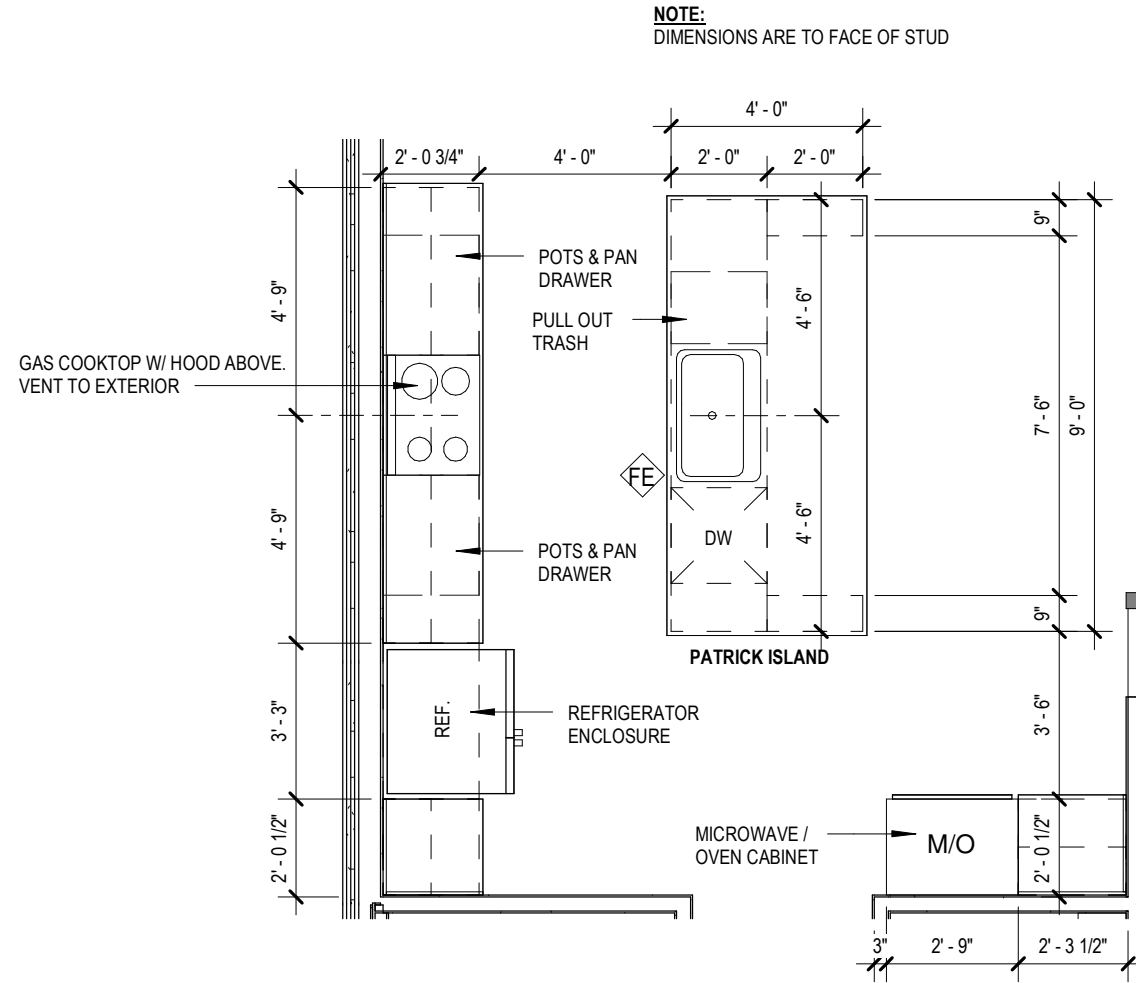




③ UNIT #3 ENLARGED KITCHEN PLAN
1/4" = 1'-0"



② UNIT #2 ENLARGED KITCHEN PLAN
1/4" = 1'-0"



① UNIT #1 ENLARGED KITCHEN PLAN
1/4" = 1'-0"



STAGS TRAIL
ENLARGED KITCHEN PLAN
PAD "M"

DRAWN BY:
CW

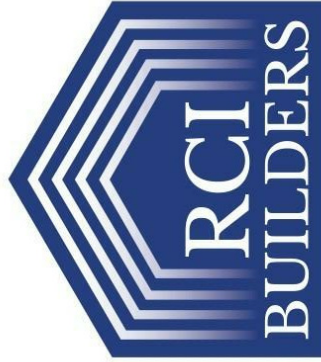
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A3.7

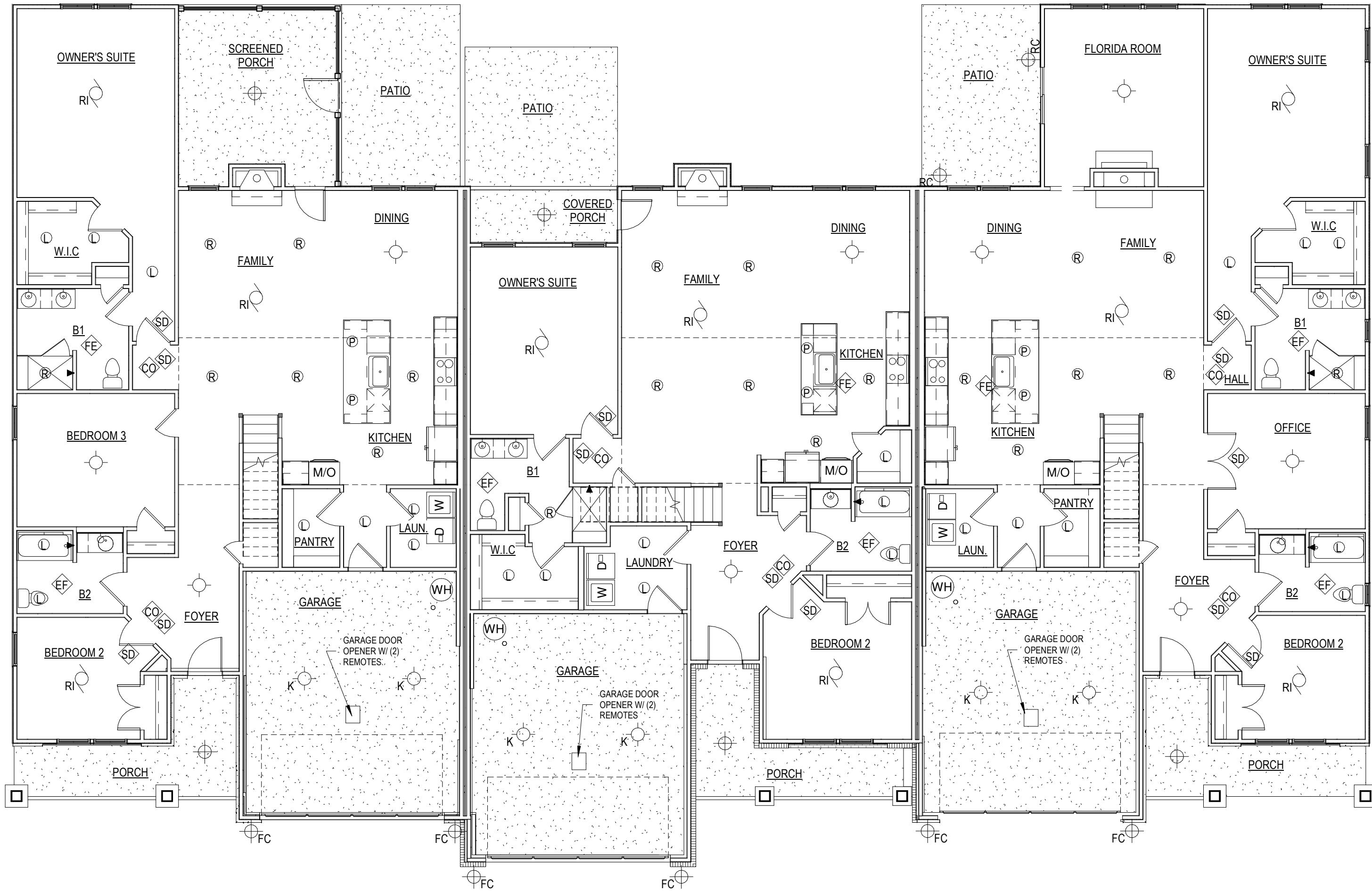
9245 SHADY GROVE RD.
SUITE 200
MECHANICSVILLE, VA 23116
PHONE: 804-249-2818



ELECTRICAL FIXTURES		
TYPE	COUNT	COMMENTS
CEILING FAN ROUGH-IN	9	
CEILING LIGHT	10	
CEILING LIGHT - KEYLESS	12	
EXHAUST FAN	6	
FIRE EXTINGUISHER	3	2-A; 10-B; C RATED; INSTALLED
FRONT COACH	6	
LED LIGHT	29	
PENDANT LIGHT	6	
REAR COACH	2	
RECESSED LIGHT	21	(1) STD. IN OWNER'S SHOWER
SCONCE	10	
SURFACE MOUNT	5	

ELECTRICAL SYMBOL LEGEND

	SMOKE DETECTOR		EXTERIOR FRONT COACH		SPOTLIGHT		VANITY SCONCE
	CO DETECTOR		EXTERIOR REAR COACH		PENDANT LIGHT		EXHAUST FAN
	SWITCH - SINGLE		EXTERIOR CEILING LIGHT		LED LIGHT		CEILING LIGHT
	SWITCH - 3 WAY		RECESSED LIGHT		CEILING FAN		BLOCK & WIRE CEILING FAN (NO INSTALL)
	METER BASE		KEYLESS LIGHT		CABLE JACK		
	POWER PANEL		PHONE JACK				



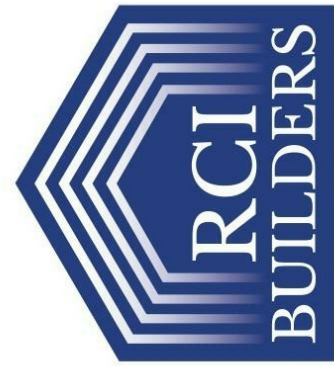
UNIT #3: THE POWELL (TWO-STORY)
0'-0" FINISHED FLOOR LEVEL

UNIT #2: THE BELL CREEK (TWO-STORY)
0'-0" FINISHED FLOOR LEVEL

UNIT #1: THE POWELL (TWO-STORY)
0'-0" FINISHED FLOOR LEVEL

1 FIRST FLOOR ELECTRICAL PLAN
1/8" = 1'-0"

9245 SHADY GROVE RD.
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STAGS TRAIL
FIRST FLOOR ELECTRICAL PLAN
PAD "M"

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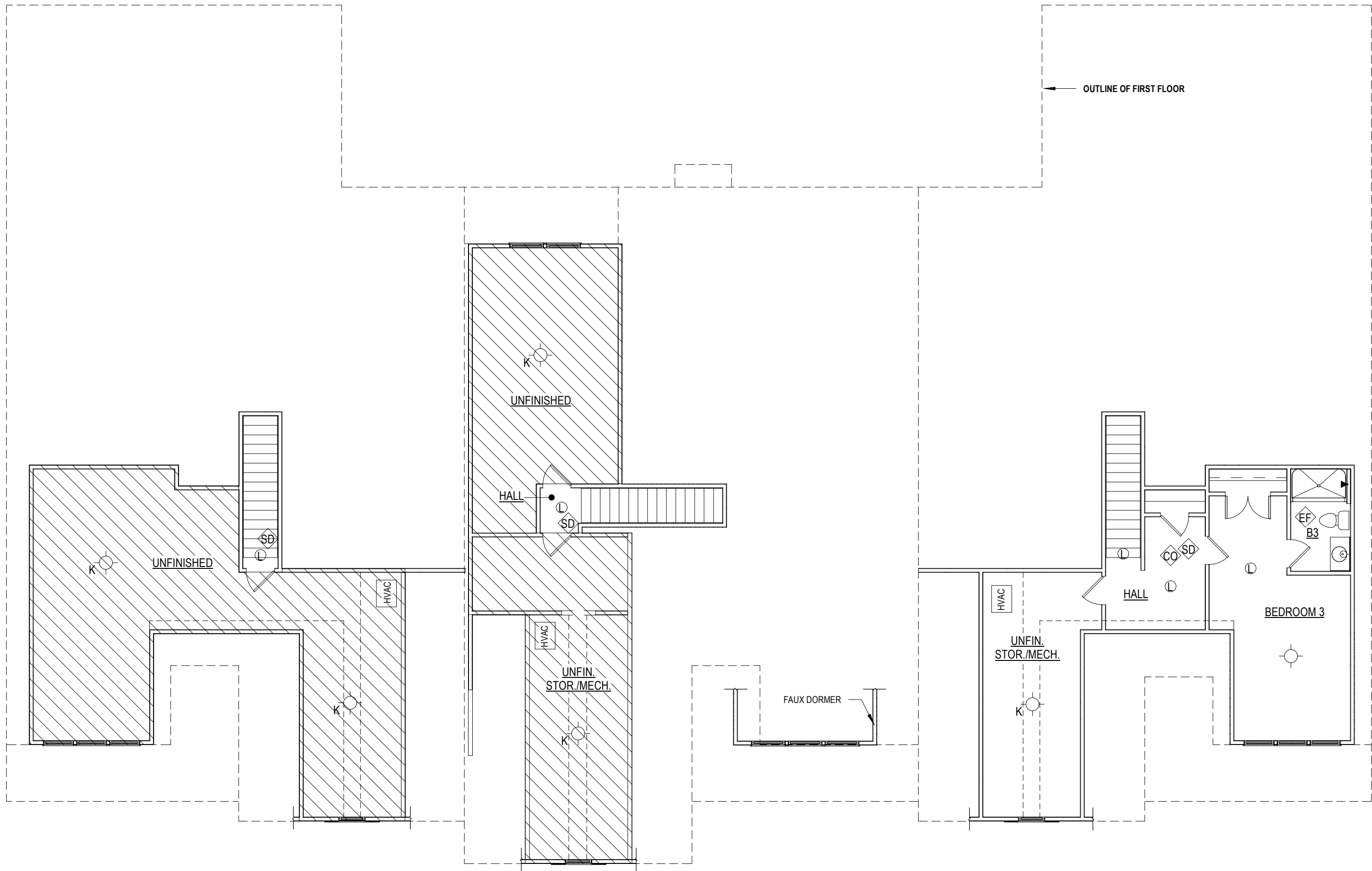
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A3.8

ELECTRICAL FIXTURES		
TYPE	COUNT	COMMENTS
CEILING FAN ROUGH-IN	9	
CEILING LIGHT	10	
CEILING LIGHT - KEYLESS	12	
EXHAUST FAN	6	
FIRE EXTINGUISHER	3	2-A: 10-B; C RATED; INSTALLED
FRONT COACH	6	
LED LIGHT	29	
PENDANT LIGHT	6	
REAR COACH	2	
RECESSED LIGHT	21	(1) STD. IN OWNER'S SHOWER
SCONCE	10	
SURFACE MOUNT	5	

ELECTRICAL SYMBOL LEGEND

SD	SMOKE DETECTOR	FC	EXTERIOR FRONT COACH	SP	SPOTLIGHT	VS	VANITY SCONCE
CD	CO DETECTOR	RC	EXTERIOR REAR COACH	P	PENDANT LIGHT	EF	EXHAUST FAN
\$	SWITCH - SINGLE			L	LED LIGHT	CL	CEILING LIGHT
\$	SWITCH - 3 WAY			R	RECESSED LIGHT	CF	CEILING FAN
MB	METER BASE	K	KEYLESS LIGHT	CJ	CABLE JACK	R	BLOCK & WIRE CEILING FAN (NO INSTALL)
PP	POWER PANEL	▲	PHONE JACK				



UNIT #3: THE POWELL (TWO-STORY)
0'-0" FINISHED FLOOR LEVEL

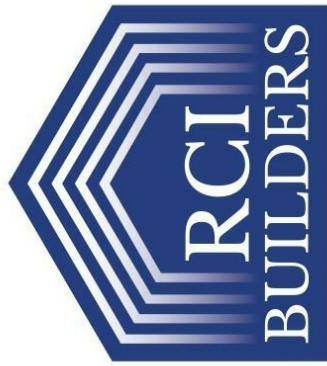
UNIT #2: THE BELL CREEK (TWO-STORY)
0'-0" FINISHED FLOOR LEVEL

UNIT #1: THE POWELL (TWO-STORY)
0'-0" FINISHED FLOOR LEVEL

① SECOND FLOOR ELECTRICAL PLAN
1/8" = 1'-0"

0 4' 8' 16'

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STAGS TRAIL
SECOND FLOOR ELECTRICAL PLAN
PAD "M"

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A3.9

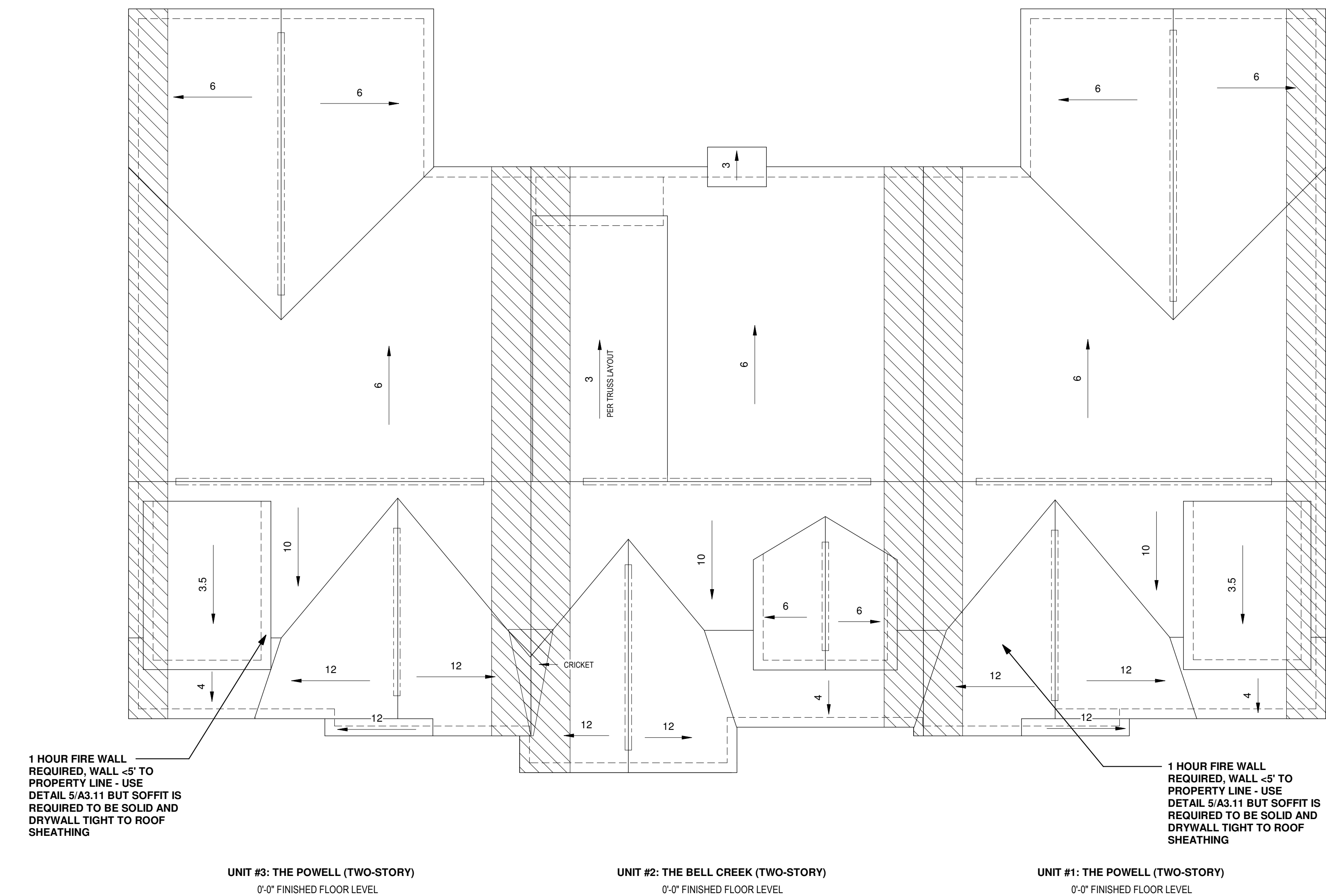
LEGEND

— LINE OF BEARING

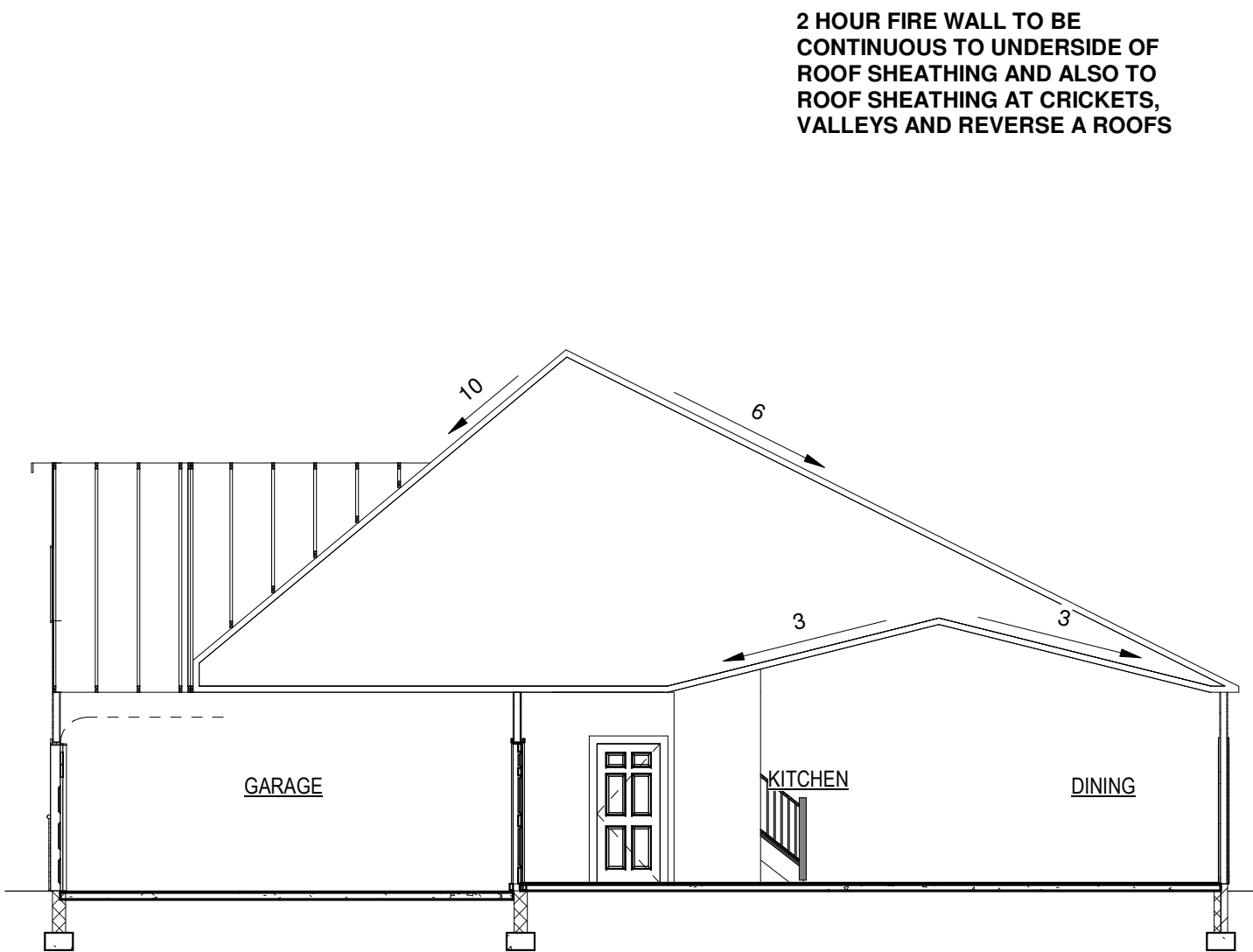
5 → RAFTER SLOPE & DIRECTION

DOUBLE UNDERLAYMENT ON ROOF SLOPES 4/12" OR LESS

0 4' 8' 16'

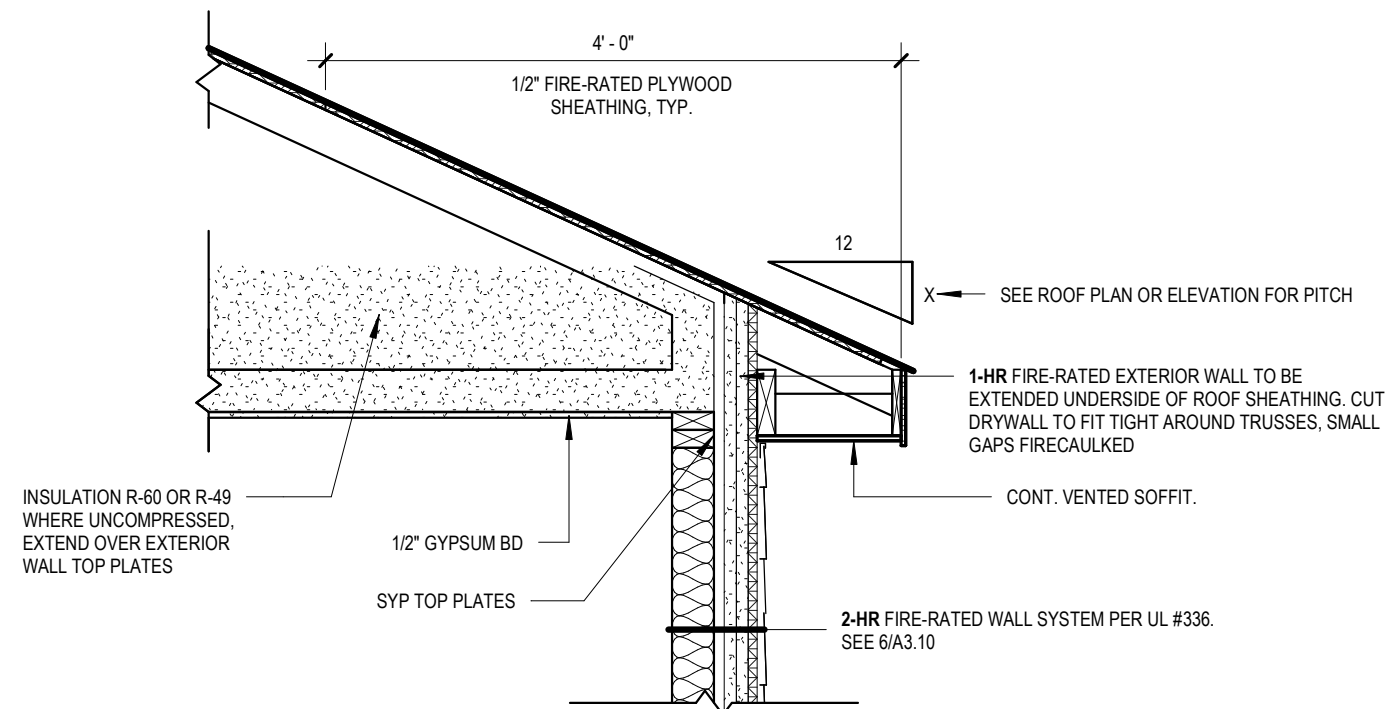


1 ROOF PLAN
1/8" = 1'-0"



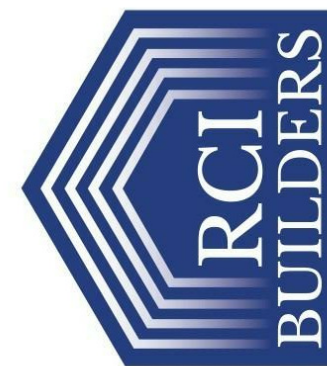
2 BUILDING SECTION
1/8" = 1'-0"

Firewall clips at each H stud, at each floor level and max. 10' vertically for wall heights up to 23'. Wall height > 23', 1st clip at 5', then 10' max. spacing. Full wall height horizontal fire blocking at max. 10' o.c.



11 FIRE-RATED OVERHANG DETAIL
3/4" = 1'-0"

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STAGS TRAIL

ROOF PLAN
PAD "M"

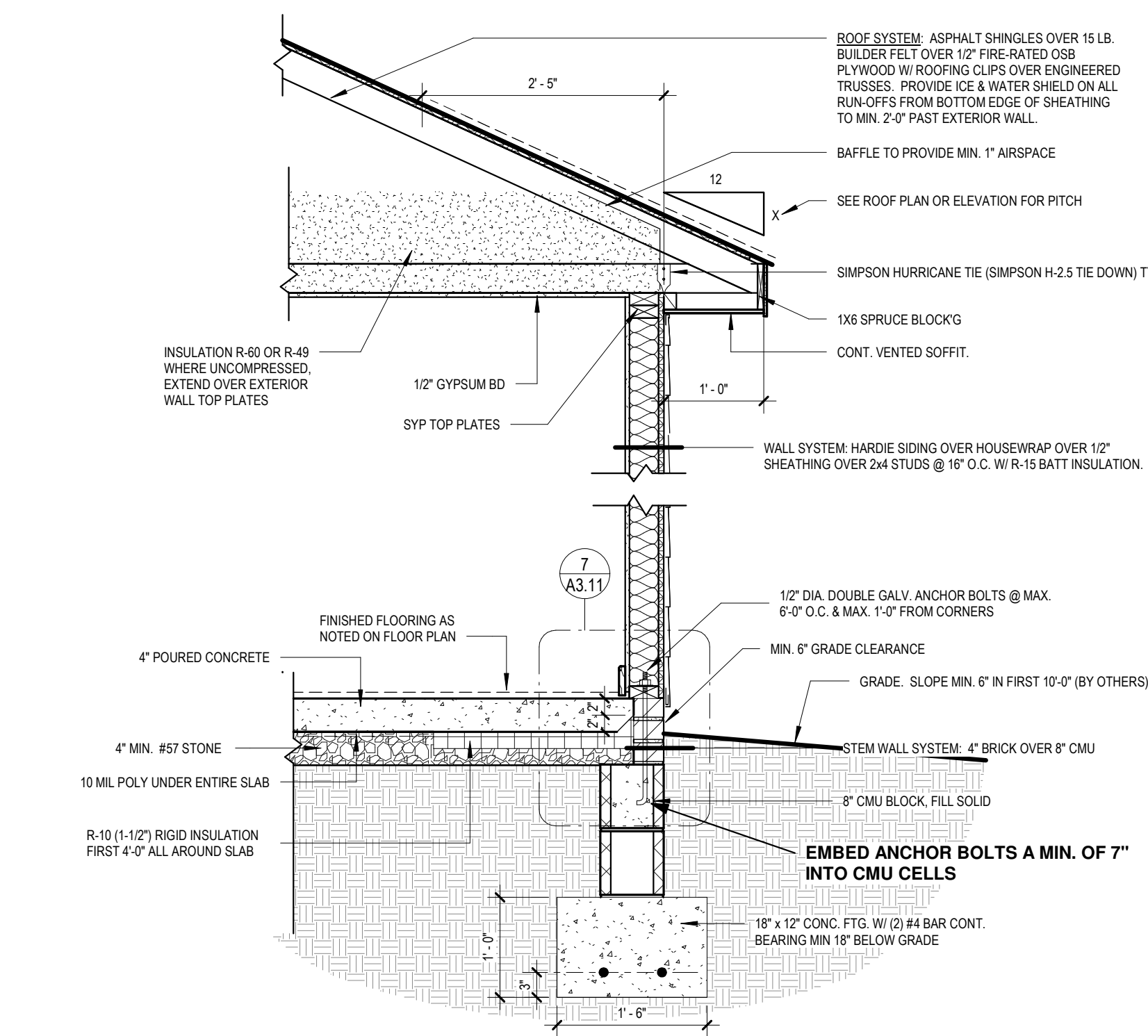
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DATE:
06/02/2025

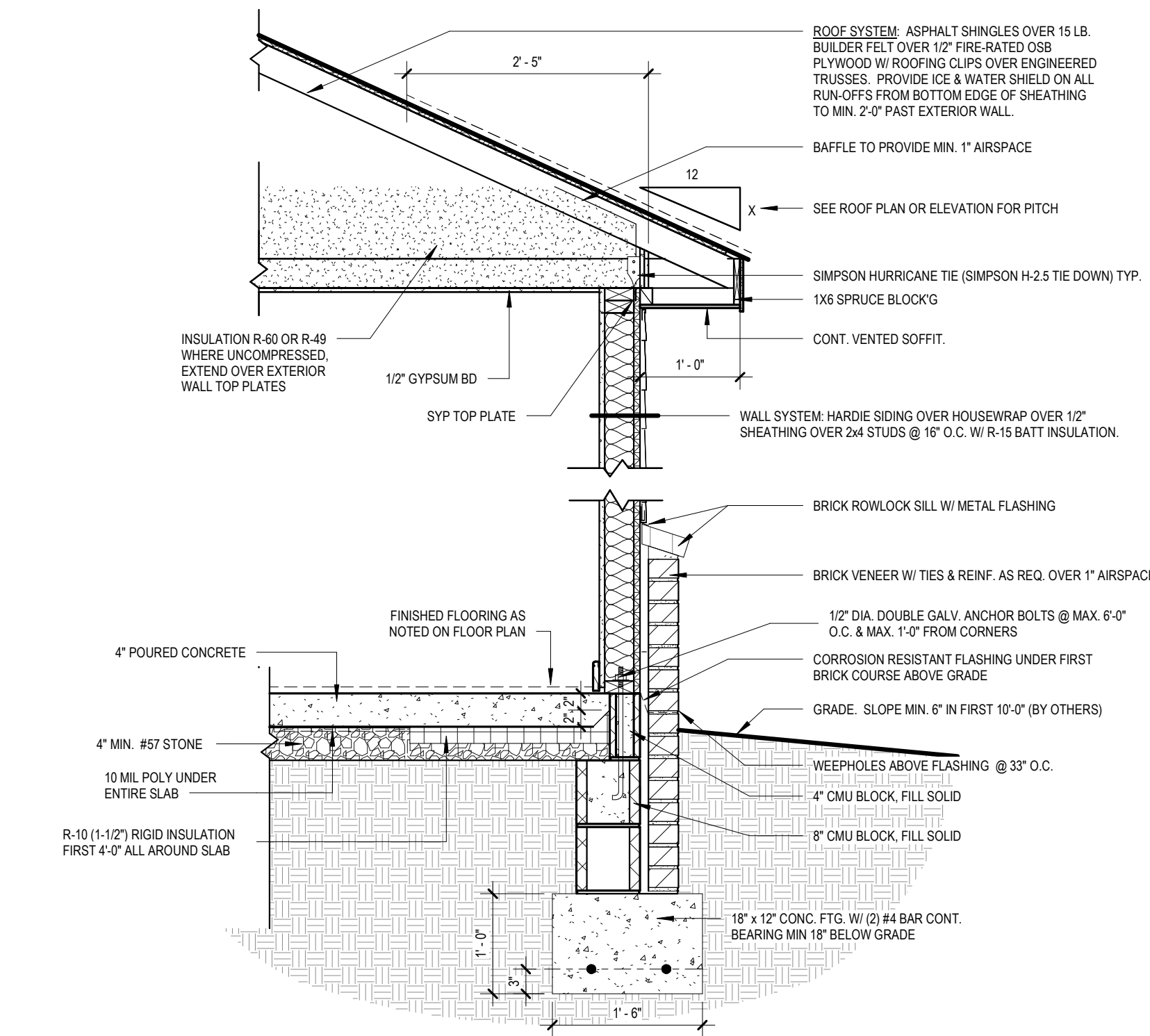
REVISION:

NUM	DATE	REV BY	DESCRPT.
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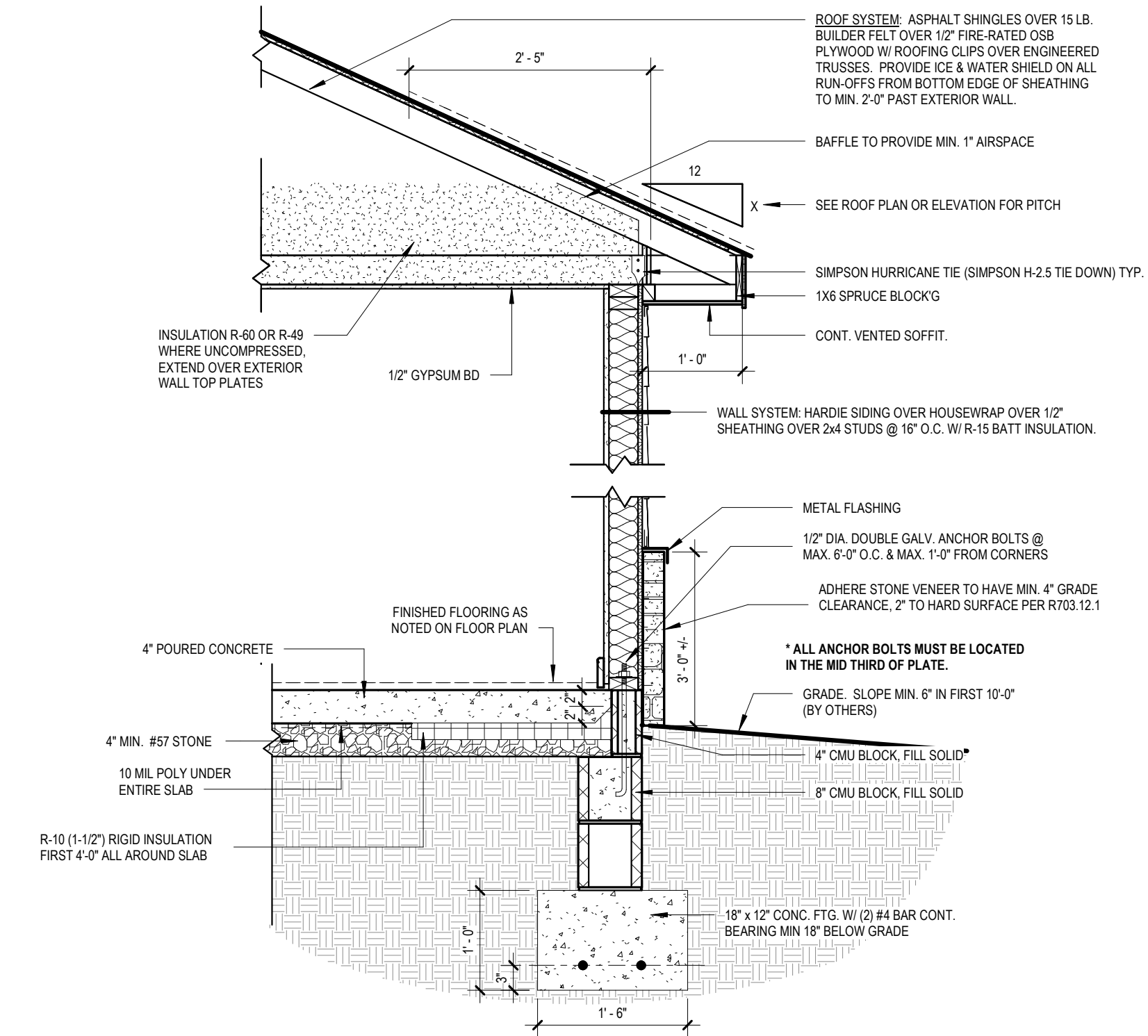
A3.10



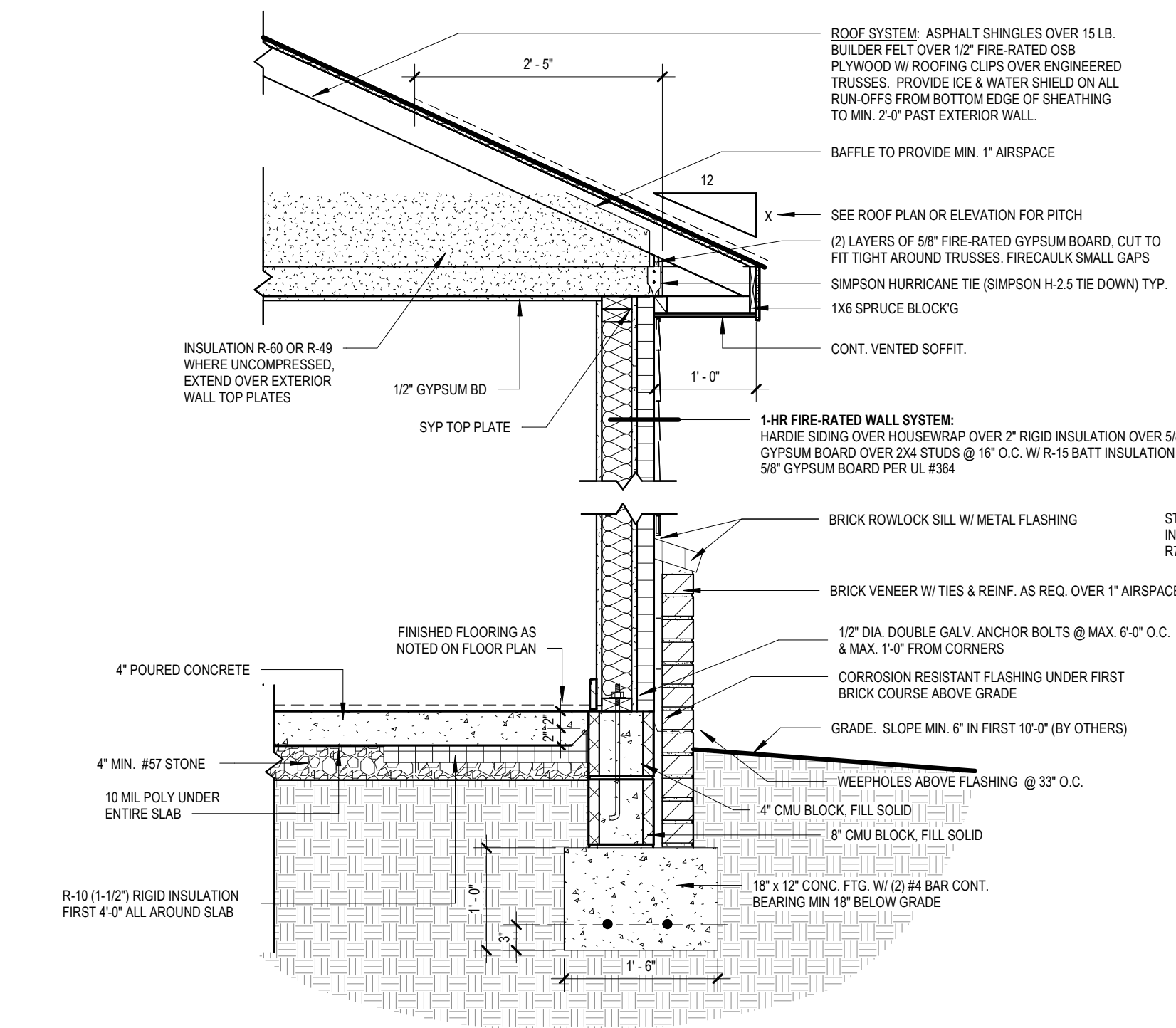
1 TYPICAL WALL SECTION
3/4" = 1'-0"



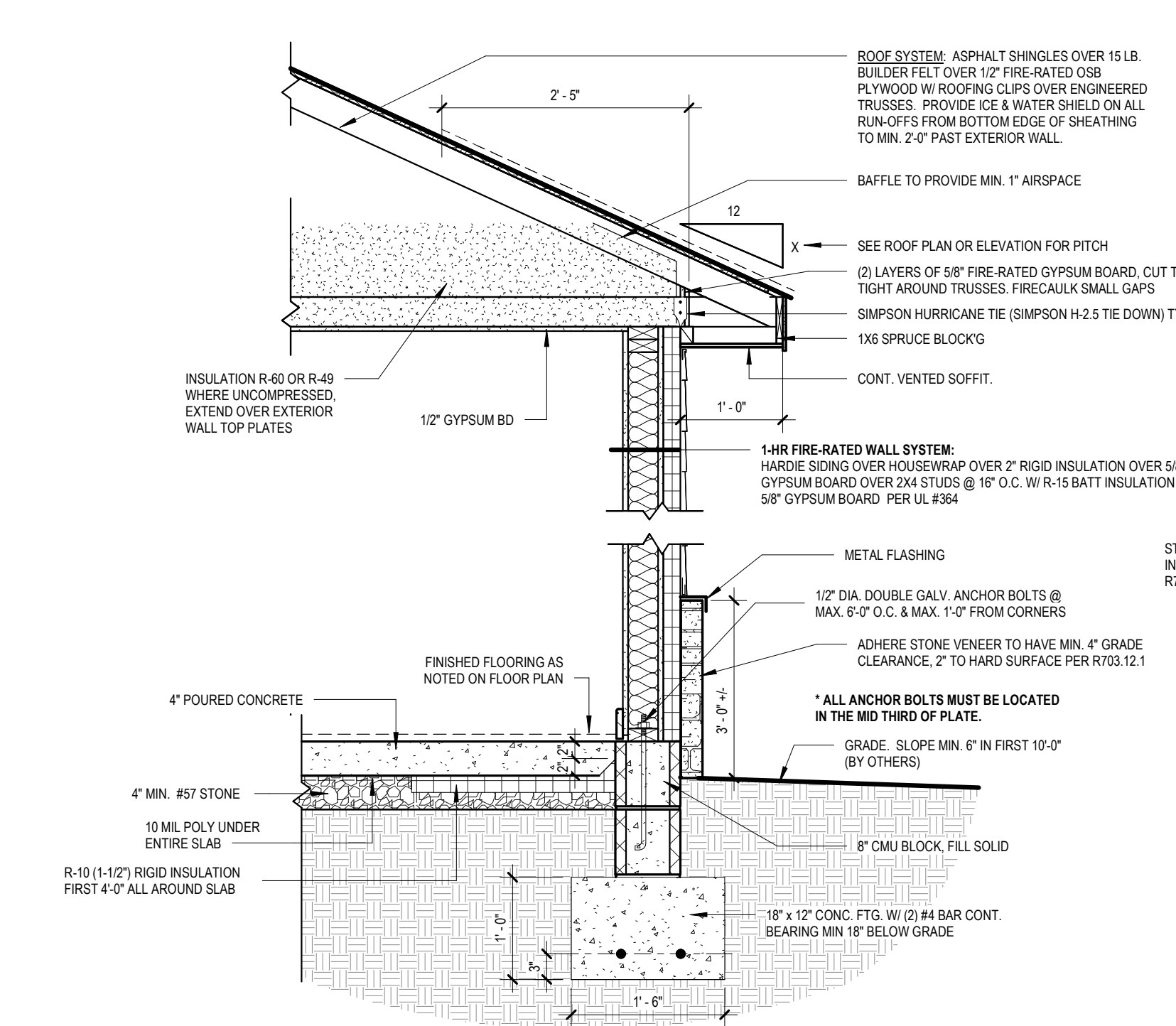
2 TYPICAL WALL SECTION - BRICK VENEER
3/4" = 1'-0"



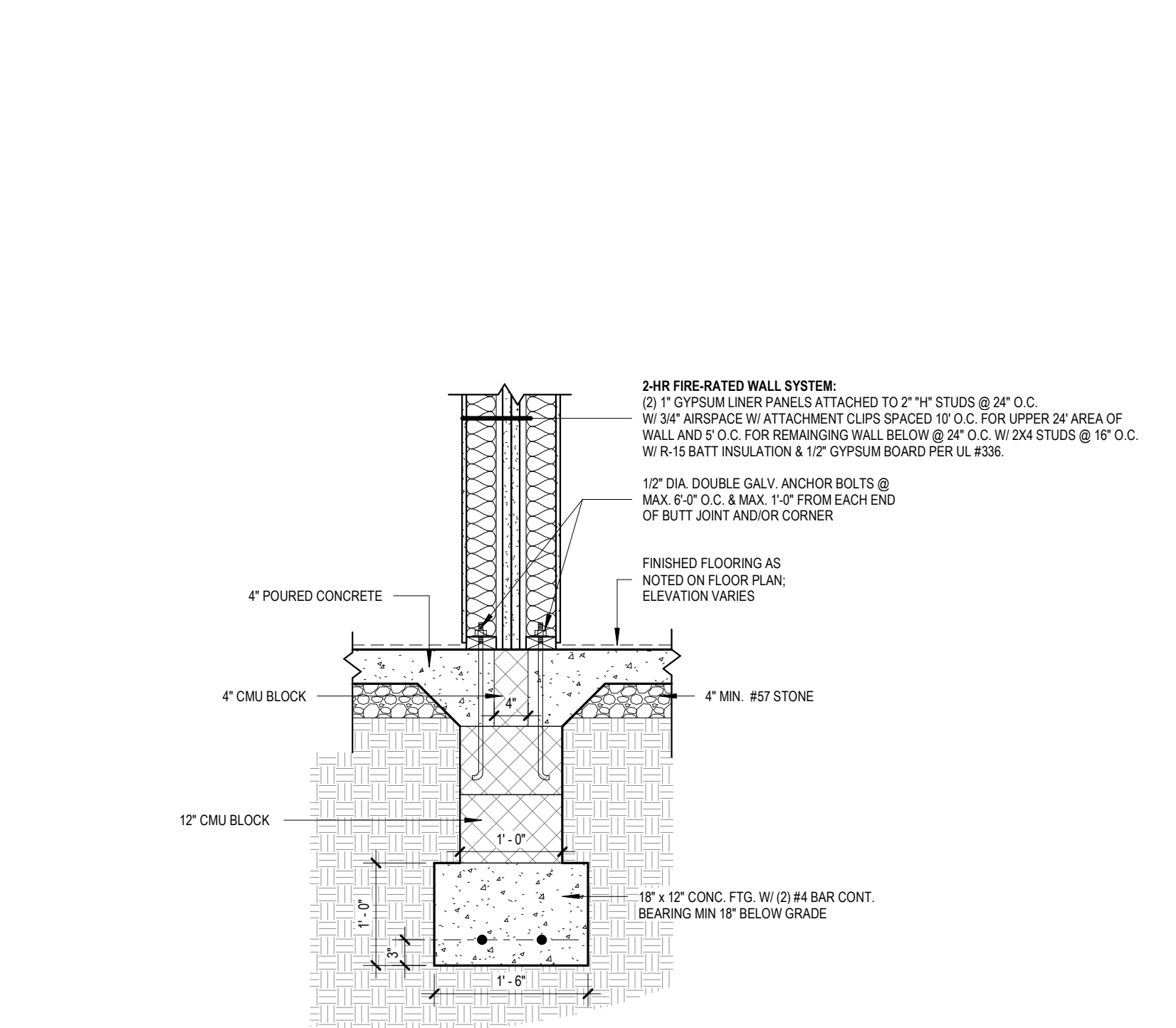
3 TYPICAL WALL SECTION - STONE VENEER
3/4" = 1'-0"



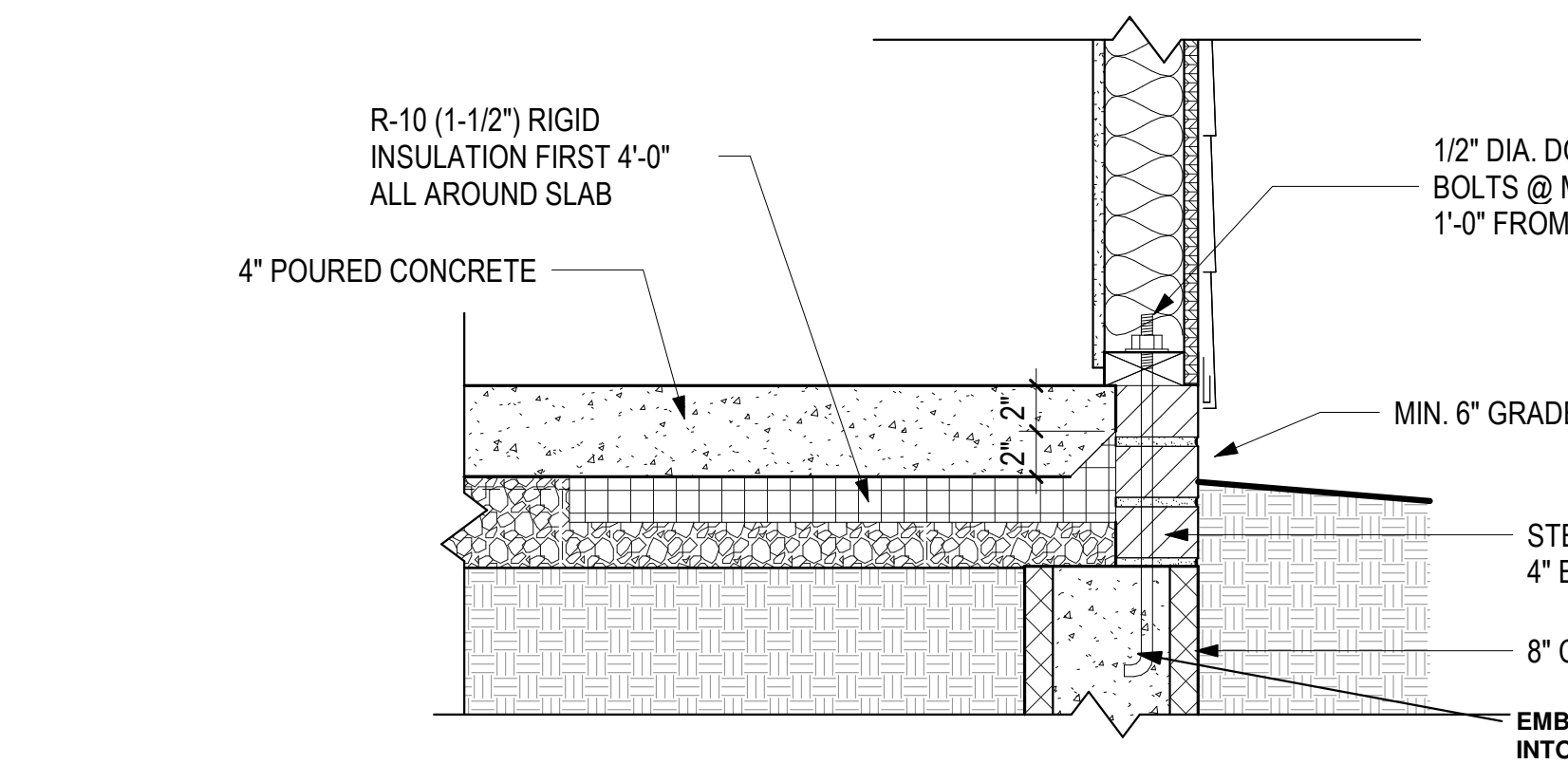
4 1-HR FIRE-RATED WALL SECTION - BRICK VENEER
3/4" = 1'-0"



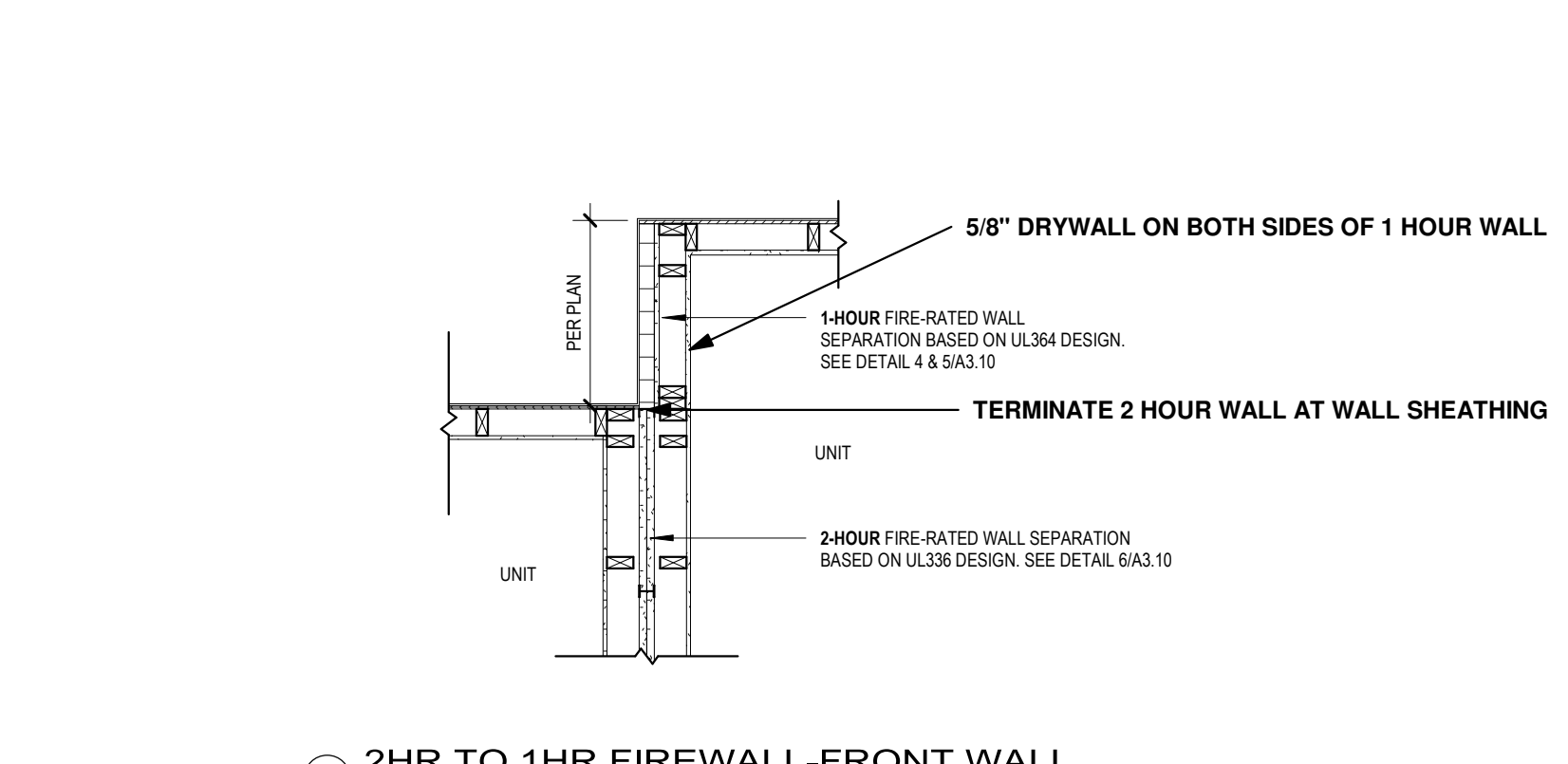
5 1-HR FIRE-RATED WALL SECTION - STONE VENEER
3/4" = 1'-0"



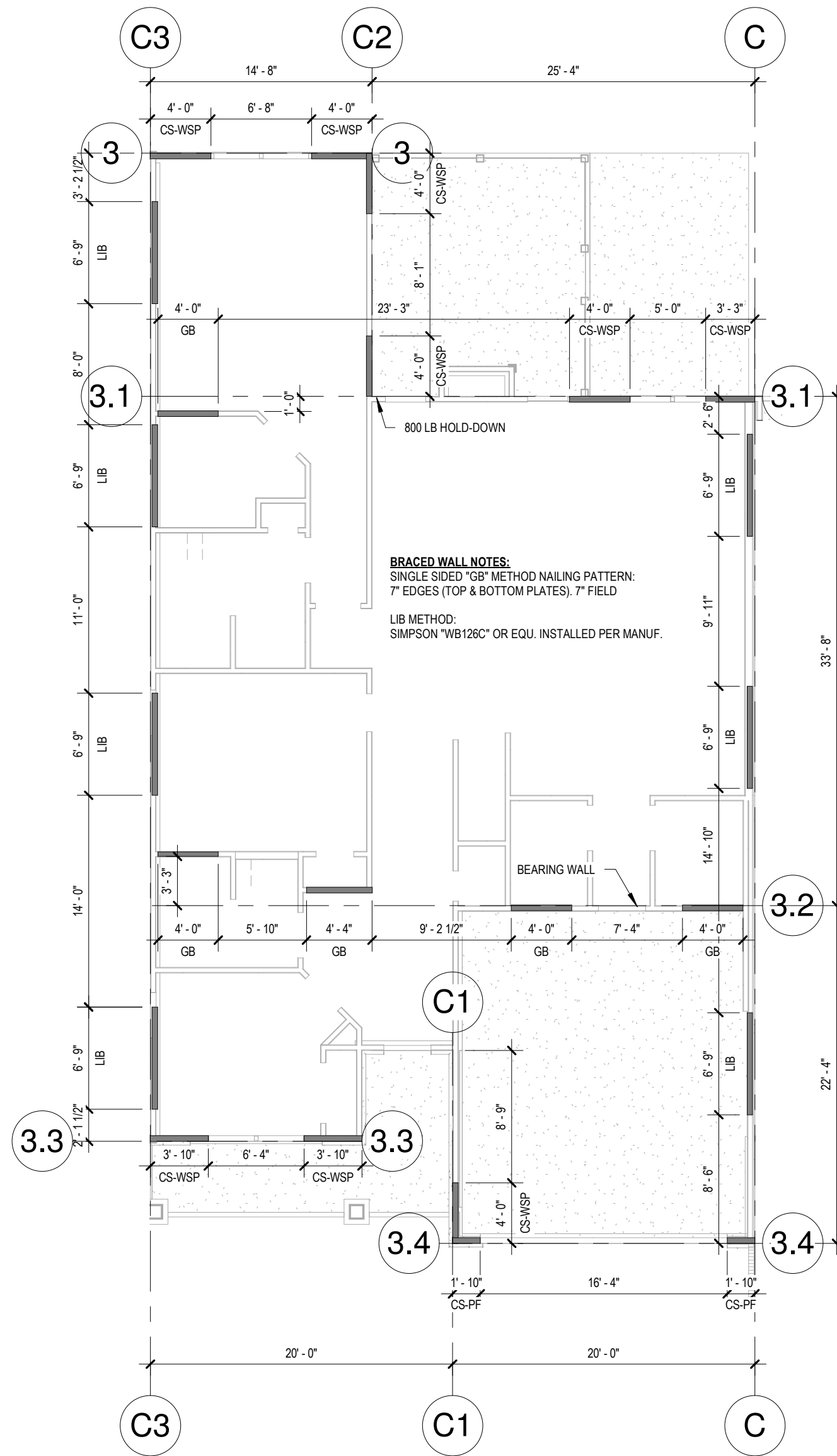
6 2-HR FIRE-RATED SEPARATION WALL
3/4" = 1'-0"



7 SLAB EDGE @ INSULATION DETAIL
1 1/2" = 1'-0"



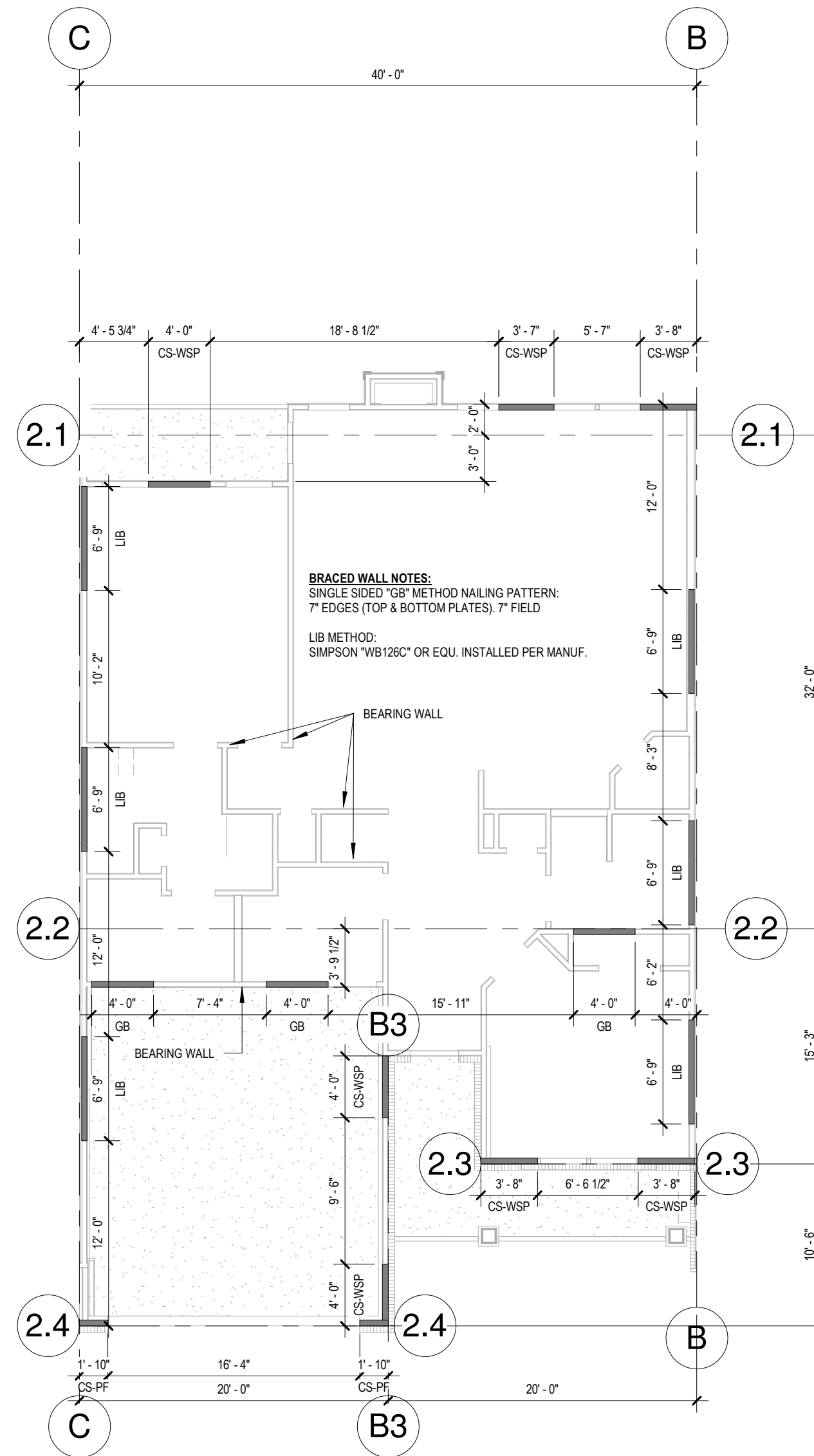
8 2HR TO 1HR FIREWALL-FRONT WALL
1/2" = 1'-0"



UNIT #3: THE POWELL (TWO-STORY)
0'-0" FINISHED FLOOR LEVEL

④ BRACED WALL LAYOUT - UNIT 3
1/8" = 1'-0"

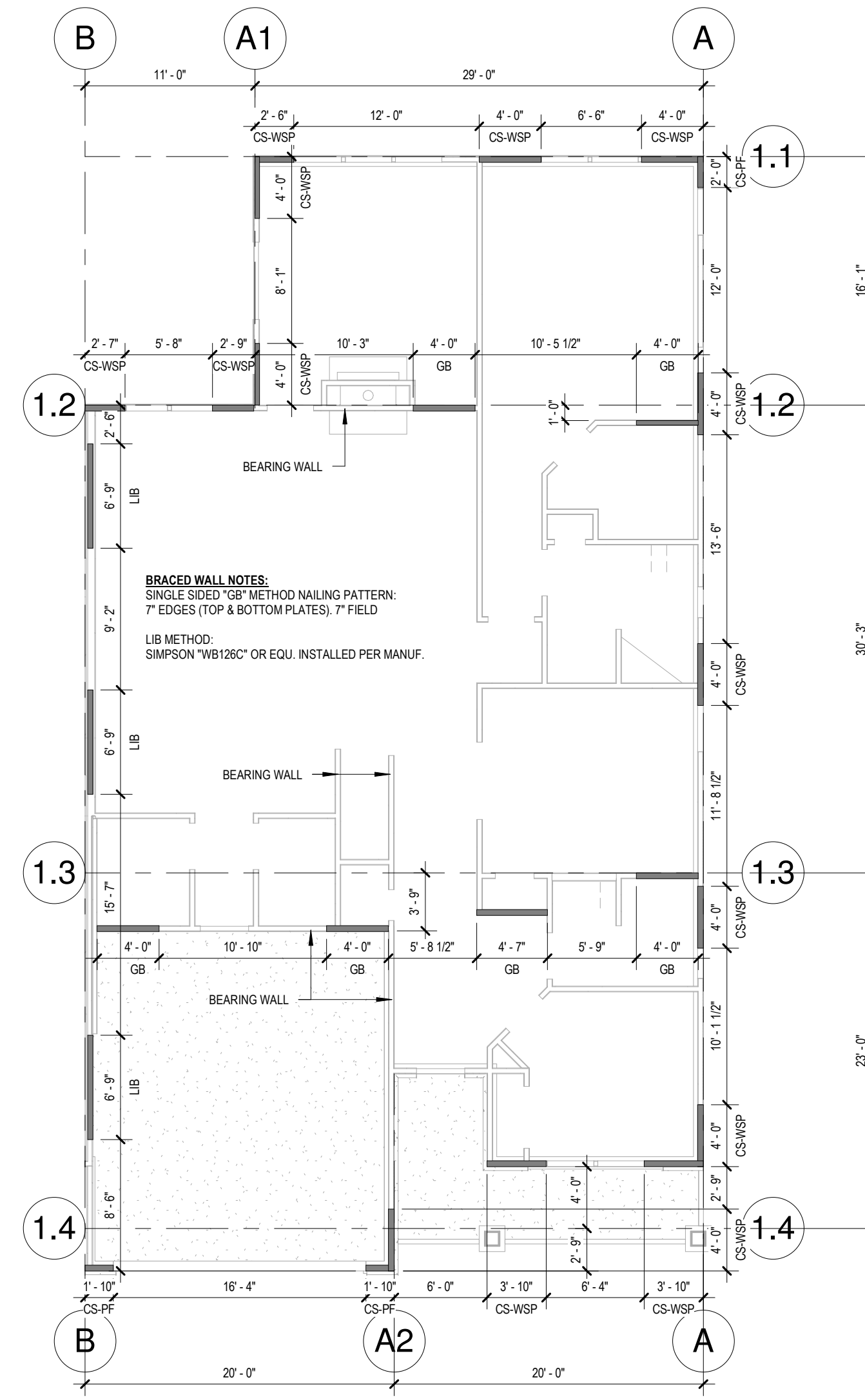
1/2" ANCHOR BOLTS MAX 6" O.C. AND 4"-12" FROM SILL PLATE ENDS.
EMBED ANCHOR BOLTS MIN. 7". EXTERIOR WALLS AND INTERIOR
BEARING AND BRACED WALLS



UNIT #2: THE BELL CREEK (TWO-STORY)
0'-0" FINISHED FLOOR LEVEL

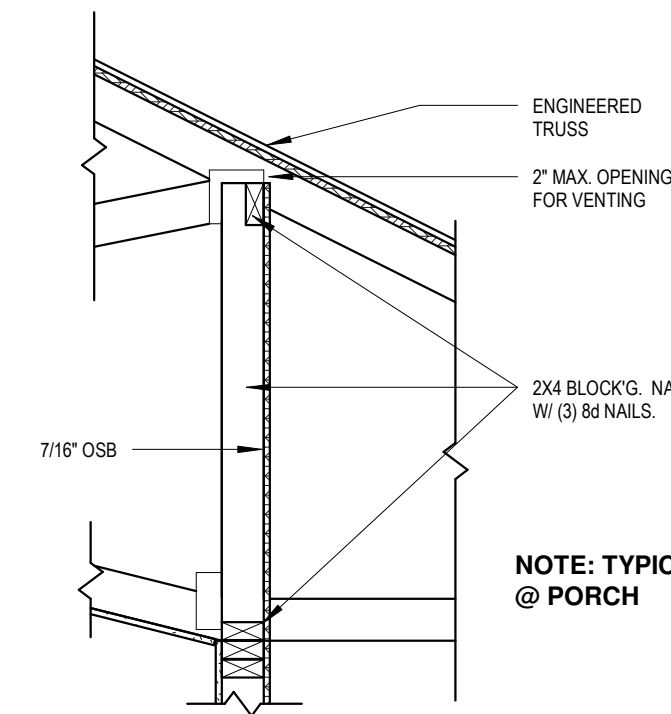
③ BRACED WALL LAYOUT - UNIT 2
1/8" = 1'-0"

BRACED WALL CONNECTIONS TO FLOOR
AND ROOF FRAMING AS PER R602.10.8.2



UNIT #1: THE POWELL (TWO-STORY)
0'-0" FINISHED FLOOR LEVEL

② BRACED WALL LAYOUT - UNIT 1
1/8" = 1'-0"



① BLOCKING ABOVE BW PANEL
3/4" = 1'-0"

LEGEND
— BRACED WALL PANEL
--- BRACED WALL LINE

STAGS TRAIL
BRACED WALL PLAN
PAD "M"

DRAWN BY:
CW

DATE:
06/02/2025

REVISION:

NUM	DATE	REV BY	DESCRPT.
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A4.5

