

FINISHED SQUARE FOOTAGE:

FIRST FLOOR: 1,756 S.F.
SECOND FLOOR: 1,641 S.F.
TOTAL: 3,397 S.F.

UNFINISHED SQUARE FOOTAGE:

FRONT PORCH: 92 S.F.
SCREENED PORCH: 200 S.F.
GARAGE: 620 S.F.
PATIO: 300 S.F.
UNFIN. 2ND FLOOR STORAGE: 192 S.F.
ATTIC MECH. SPACE: 150 S.F. (APPROX.)

FACADE FENESTRATION CALCULATIONS:

2852 DOUBLE WINDOW 29 x 3 =	87 SF
2852 SINGLE WINDOW 14 X 1 =	14 SF
2846 SINGLE WINDOW 12 X 1 =	12 SF
2442 SINGLE WINDOW 10 X 3 =	30 SF
ENTRY W/ TRANSOM	22 SF
	<u>165 TOTAL SF</u>

TOTAL FACADE AREA: 863 SF

PERCENTAGE = 19 %

NOTE: FENESTRATION LOCATIONS INDICATED IN LIGHT BLUE ON FRONT ELEVATION.

SUB TRADES REQUIRE SEPARATE PERMITS

PRIOR APPROVAL MUST BE OBTAINED PER HANOVER COUNTY THIRD PARTY INSPECTION POLICY TO PERFORM ANY INSPECTION OTHER THAN A FOOTING INSPECTION.

HVAC DUCT PRESSURE TEST REQUIRED PER 1103.3.3 IF HVAC DUCTS OR EQUIPMENT ARE LOCATED OUTSIDE CONDITIONED SPACE

PROVIDE ENGINEER STAMPED TRUSS DIAGRAMS AND FLOOR LAYOUTS AT TIME OF INSPECTION



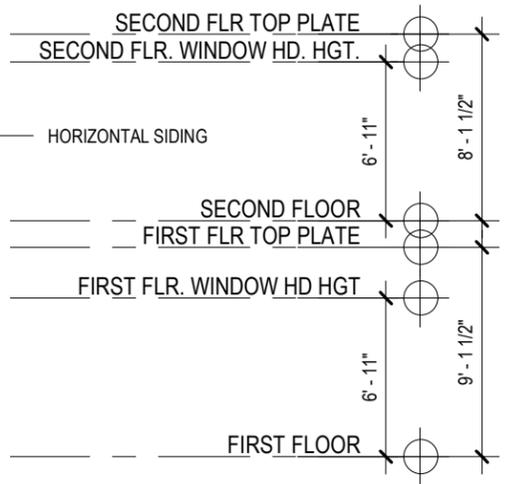
9245 SHADY GROVE RD., SUITE 200
MECHANICSVILLE, VA 23116
PHONE: 804-249-2818

THE JEMMA

PARK STREET - LOT 1

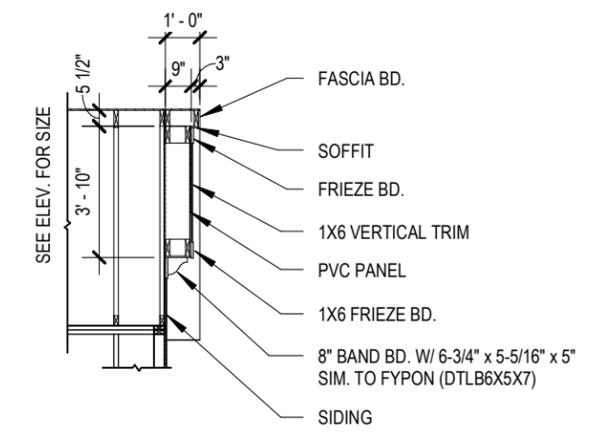
EMERALD SERIES - ELEVATION C

BUILD SET - 12/20/2024



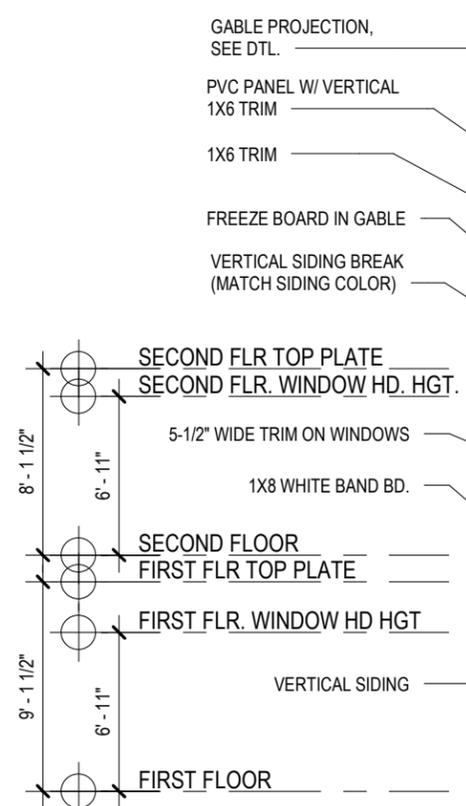
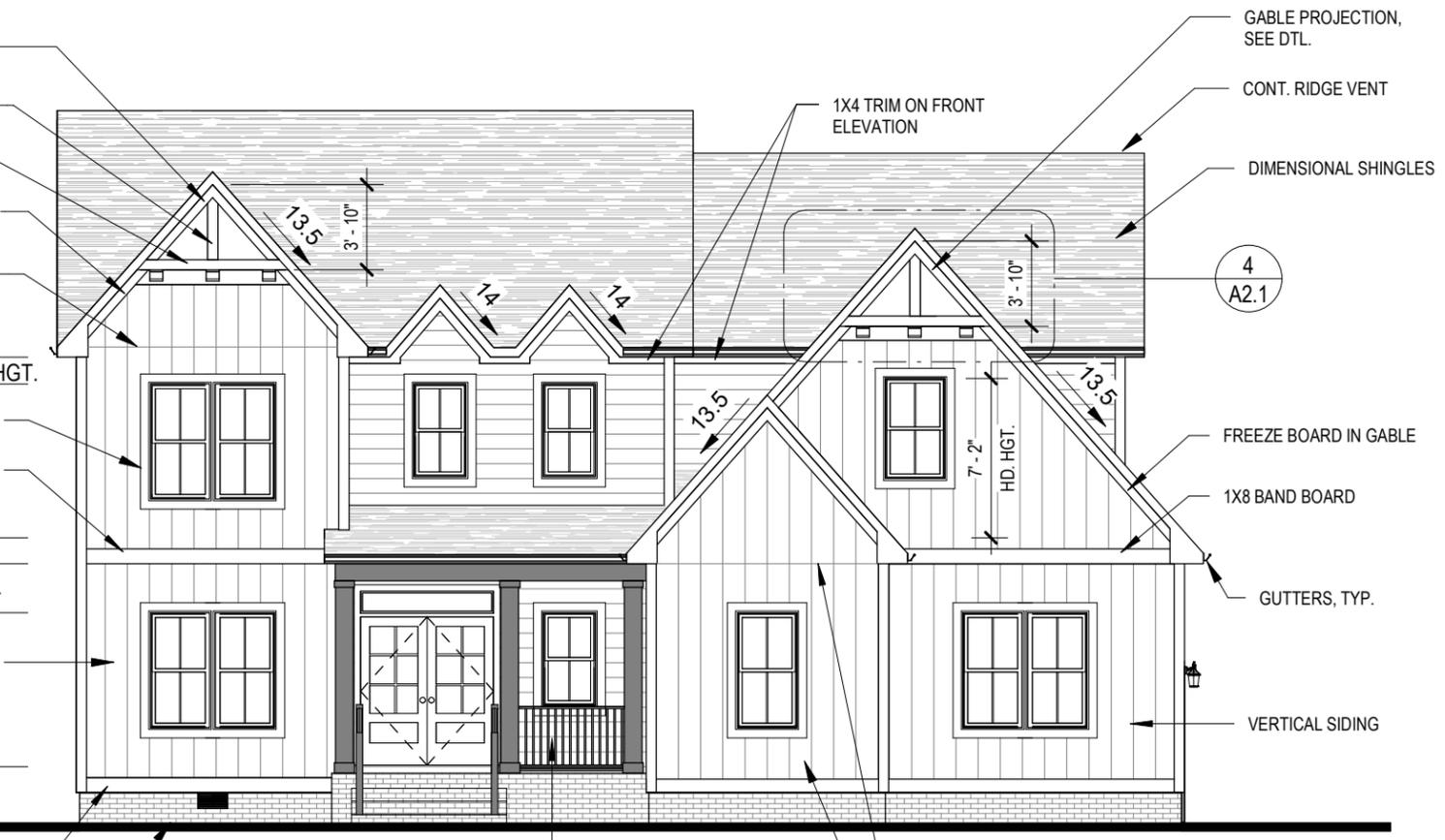
1X8 BAND BOARD
 BRICK FOUNDATION
 FILL W/ TRIM B/T WINDOWS, TYP.

2 REAR ELEVATION
 1/8" = 1'-0"



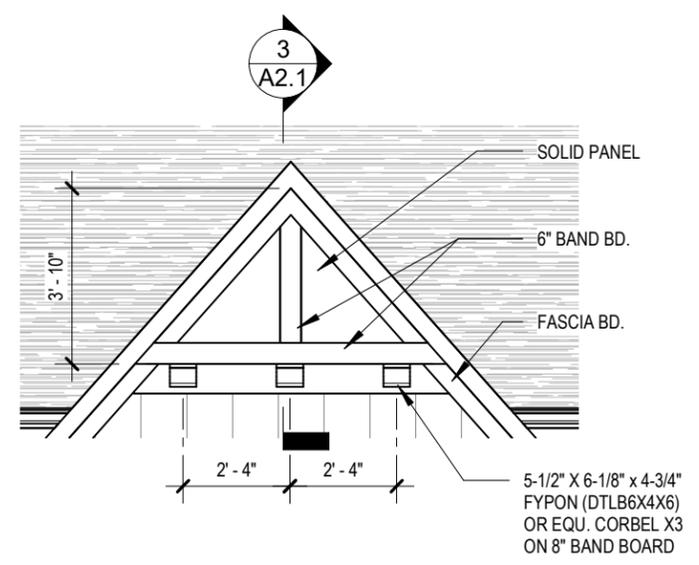
3 GABLE SECTION DETAIL
 3/16" = 1'-0"

NOTE: ROOF SLOPE LESS THAN 4/12 REQUIRES DOUBLE UNDERLAYMENT.



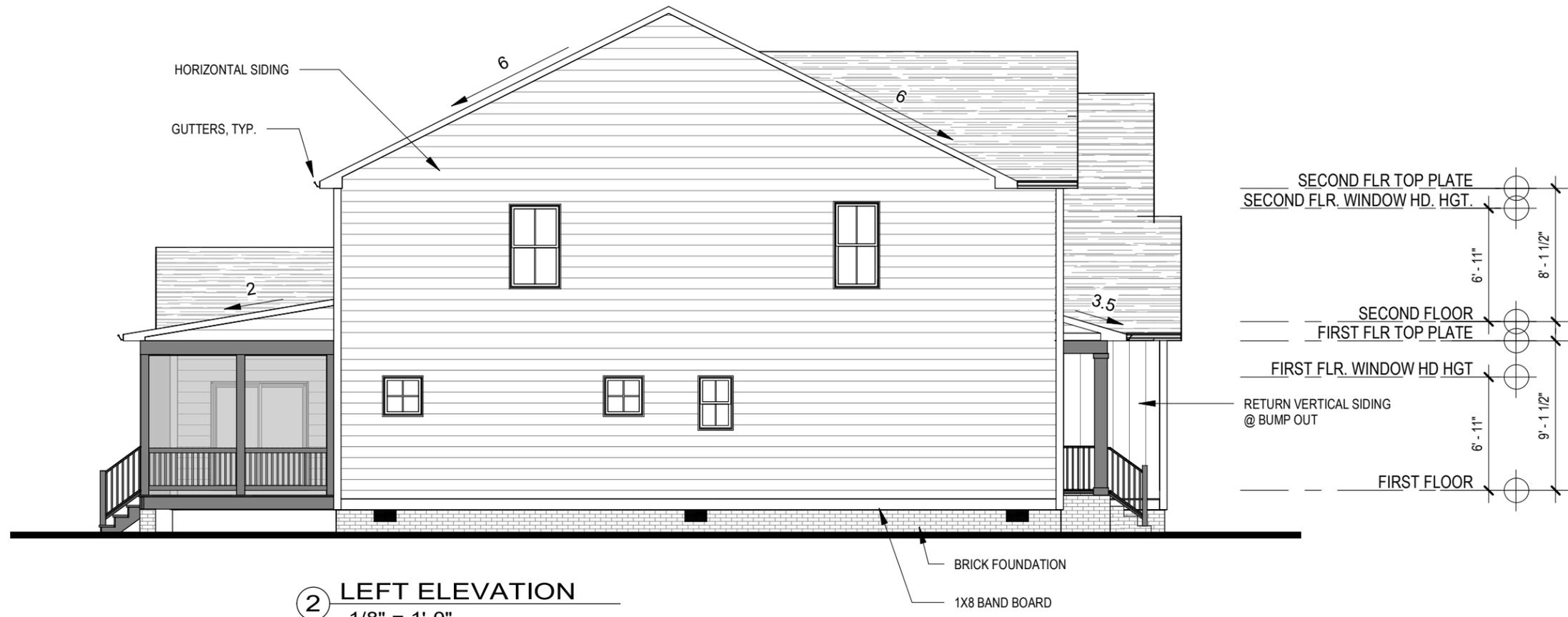
1X8 WHITE BAND BD.
 BRICK FOUNDATION
 HORIZONTAL SIDING @ FRONT PORCH
 VERTICAL SIDING BREAK (MATCH SIDING COLOR)
 VERTICAL SIDING @ BUMP-OUT

1 FRONT ELEVATION
 1/8" = 1'-0"

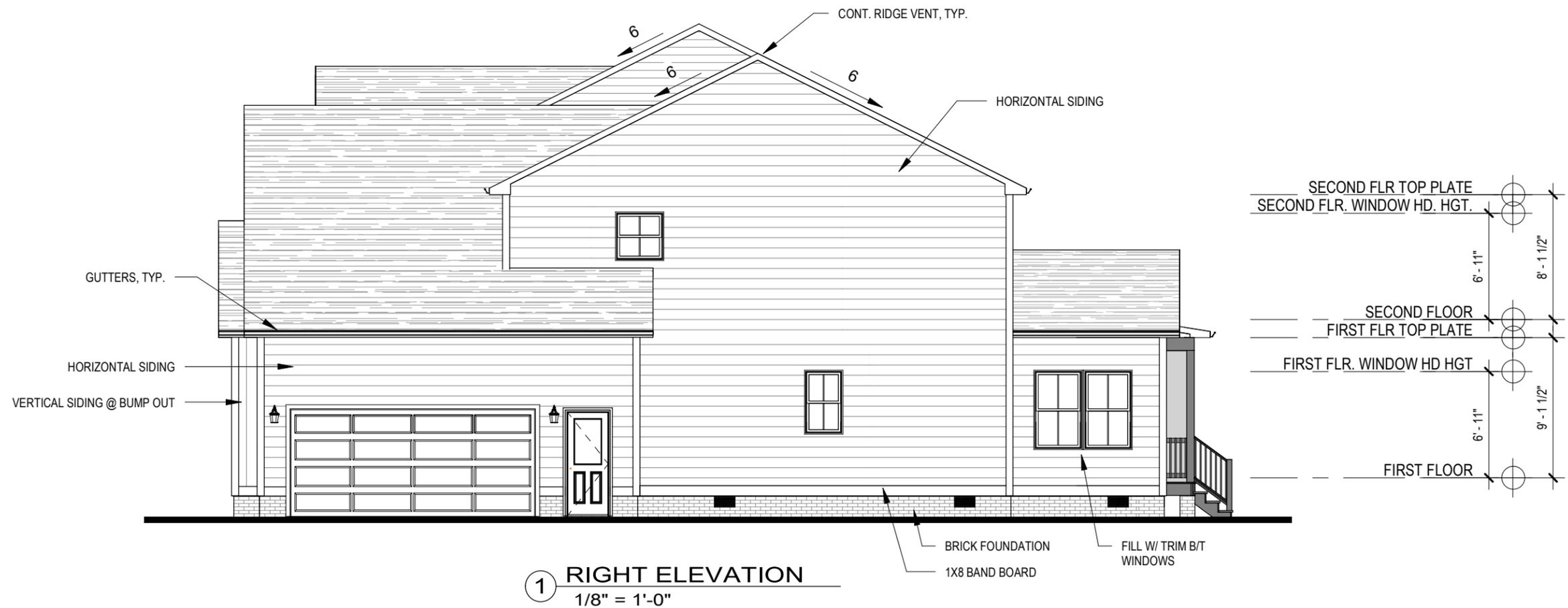


4 GABLE DETAIL
 1/4" = 1'-0"

GABLE PROJECTION, SEE DTL.
 CONT. RIDGE VENT
 DIMENSIONAL SHINGLES
 4
 A2.1
 FREEZE BOARD IN GABLE
 1X8 BAND BOARD
 GUTTERS, TYP.
 VERTICAL SIDING



② LEFT ELEVATION
1/8" = 1'-0"



① RIGHT ELEVATION
1/8" = 1'-0"

NOTE: ROOF SLOPE LESS THAN 4/12 REQUIRES DOUBLE UNDERLAYMENT.



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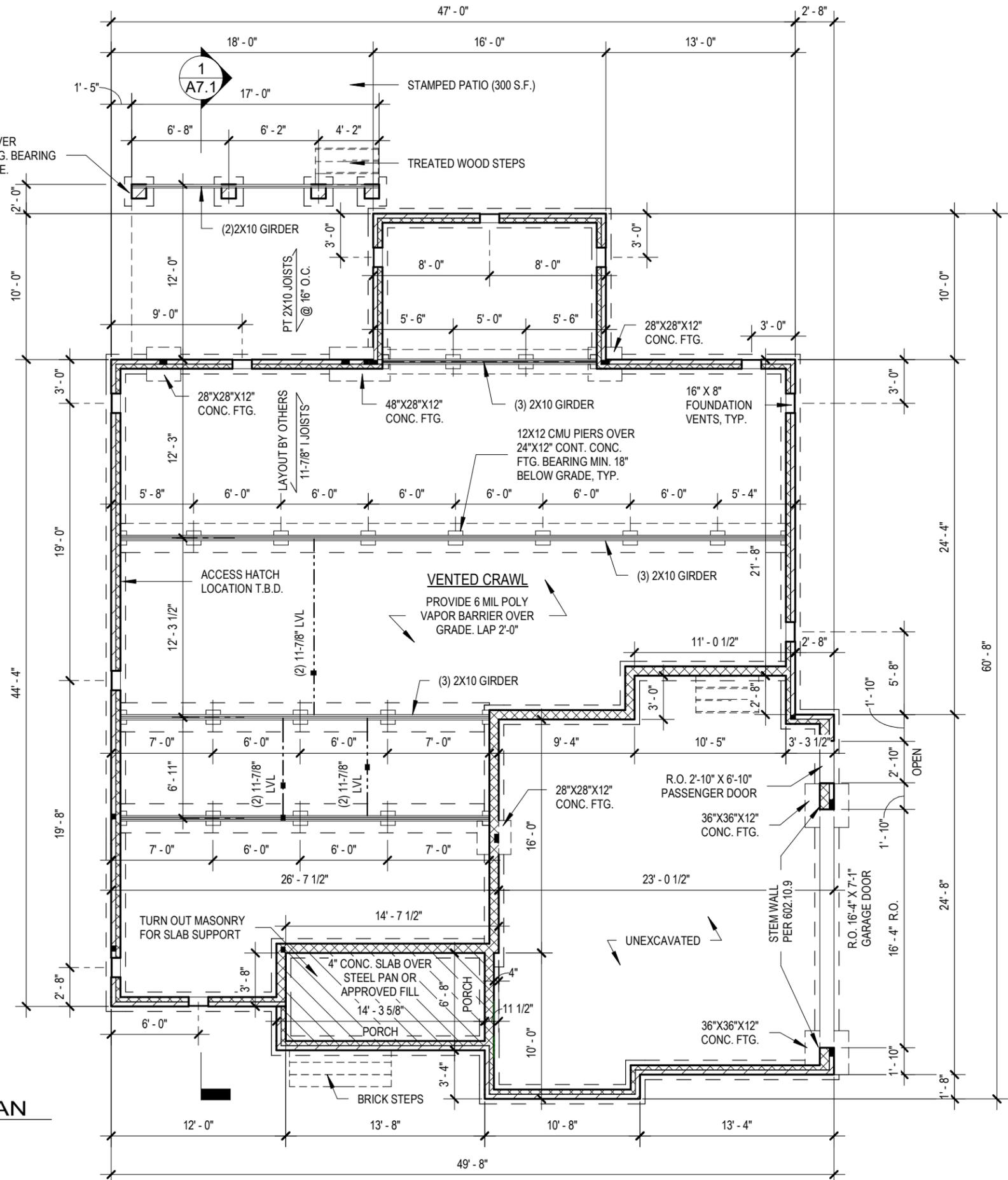
THE JEMMA
SIDE ELEVATIONS
PARK STREET - LOT 1
EMERALD SERIES - ELEVATION C

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DATE:
12/20/2024

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A2.2



PROVIDE LATERAL CONNECTION PER R507.9.2

MIN. ACCESS SIZE PER VRC R408.4

1/2" ANCHOR BOLTS MAX. 6' O.C. AND 4"-12" FROM SILL PLATE ENDS. EMBED ANCHOR BOLTS MIN. 7" AT EXTERIOR BEARING AND INTERIOR BRACED WALLS

UNDER-FLOOR VENTILATION REQUIRED AS PER R408.2

FOUNDATION LEGEND

- 4" BRICK & 8" CMU
- 4" BRICK & 4" CMU
- 8" CMU
- 12" CMU
- FOOTING BELOW



1 FOUNDATION PLAN
 1/8" = 1'-0"

PLAN NOTES	
NUM	NOTE
1	MASONRY / CONC. FRONT PORCH W/ 7'-0" BRICK STEPS. 10X10 PVC WRAPPED COLUMNS AND BLACK POWDER COATED ALUM. RAILINGS.
2	(2) 2X10 BEAM ABOVE
3	TREATED WOOD SCREENED PORCH ON BRICK PIERS. WOOD STEPS TO BE 4'-4" WIDE. 6X6 POST W/ VINYL SLEEVES AND WHITE VINYL RAILINGS.
4	R.O. 16'-4" X 7'-1" - GARAGE DOOR
5	PARKING BOLLARD & HOT WATER HEATER. (BOLLARD ONLY NEEDED W/ GAS WATER HEATER)
6	UTILITY SINK
7	TREATED WOOD STEPS AND RAILING. STEPS TO BE 4'-4" WIDE.
8	8'-0" TALL CASED OPENING
10	GAS COOKTOP W/ HOOD ABOVE. VENT TO EXTERIOR.
11	ROUGH-IN FOR FRIDGE.
12	VAULTED CEILING IN DINING ROOM.
13	GAS FIREPLACE W/ MANTLE & SURROUND. PROVIDE SPECS.
14	AIR RETURN.
16	LANDING ABOVE.
17	RAIL AND PICKETS ON SLOPED STAIR WALL UP AND ACROSS LANDING.
18	RAIL AND PICKETS ON SLOPED STAIR WALL.
19	RAIL AND PICKETS
20	2X6 FRAMED WALL
21	72" WIDE VANITY
22	32"X60" FIBERGLASS TUB/SHOWER
23	ROUGH-IN FOR WASHER
24	84" WIDE VANITY W/ DRAWER STACK
25	36"X60" FIBERGLASS SHOWER W/ GLASS DOOR.
26	CERAMIC TILE SHOWER W/ GLASS DOOR, BENCH SEAT AND 2 SHOWER HEADS.
27	AREA OF 8' C.H. IN R.O.G.
28	KNEE WALL
29	12" RAISED TRAY IN OWNER'S SUITE.

INSTALL SMOKE DETECTOR INSIDE BEDROOMS AND S/D OUTSIDE BEDROOMS PER CODE SECTIONS R314

INSTALL C/O DETECTOR PER CODE SECTION R315

S/D MIN. 3' FROM BATHROOM DOORS

MULTI PLY COLUMNS OF 3 OR MORE 2X LUMBER MUST BE FASTENED PER NDS SPECIFICATIONS USING 30D NAILS OR 1/2 INCH BOLTS OR APPROVED EQUIVALENT.

R302.11 FIRE-BLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION IN THE FOLLOWING LOCATIONS:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:

1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.

1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).

2. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.

3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.

4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.

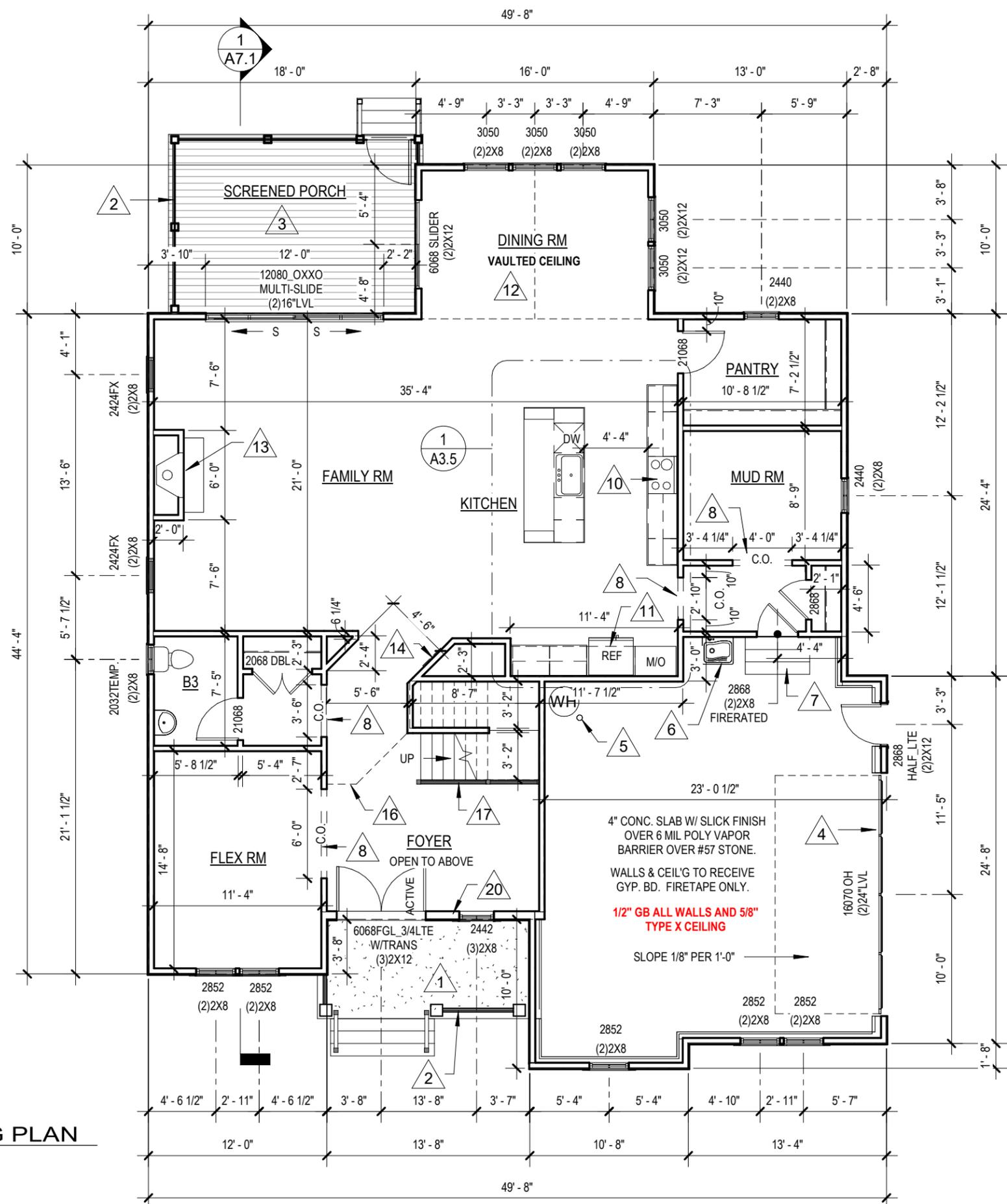
5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.

6. FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

NOTE: ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF EXTERIOR WALL SHEATHING OR FACE OF STUD OR CENTERLINE OF WALL, U.N.O.



1 FIRST FLOOR FRAMING PLAN
1/8" = 1'-0"



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THE JEMMA
FIRST FLOOR FRAMING PLAN
PARK STREET - LOT 1
EMERALD SERIES - ELEVATION C

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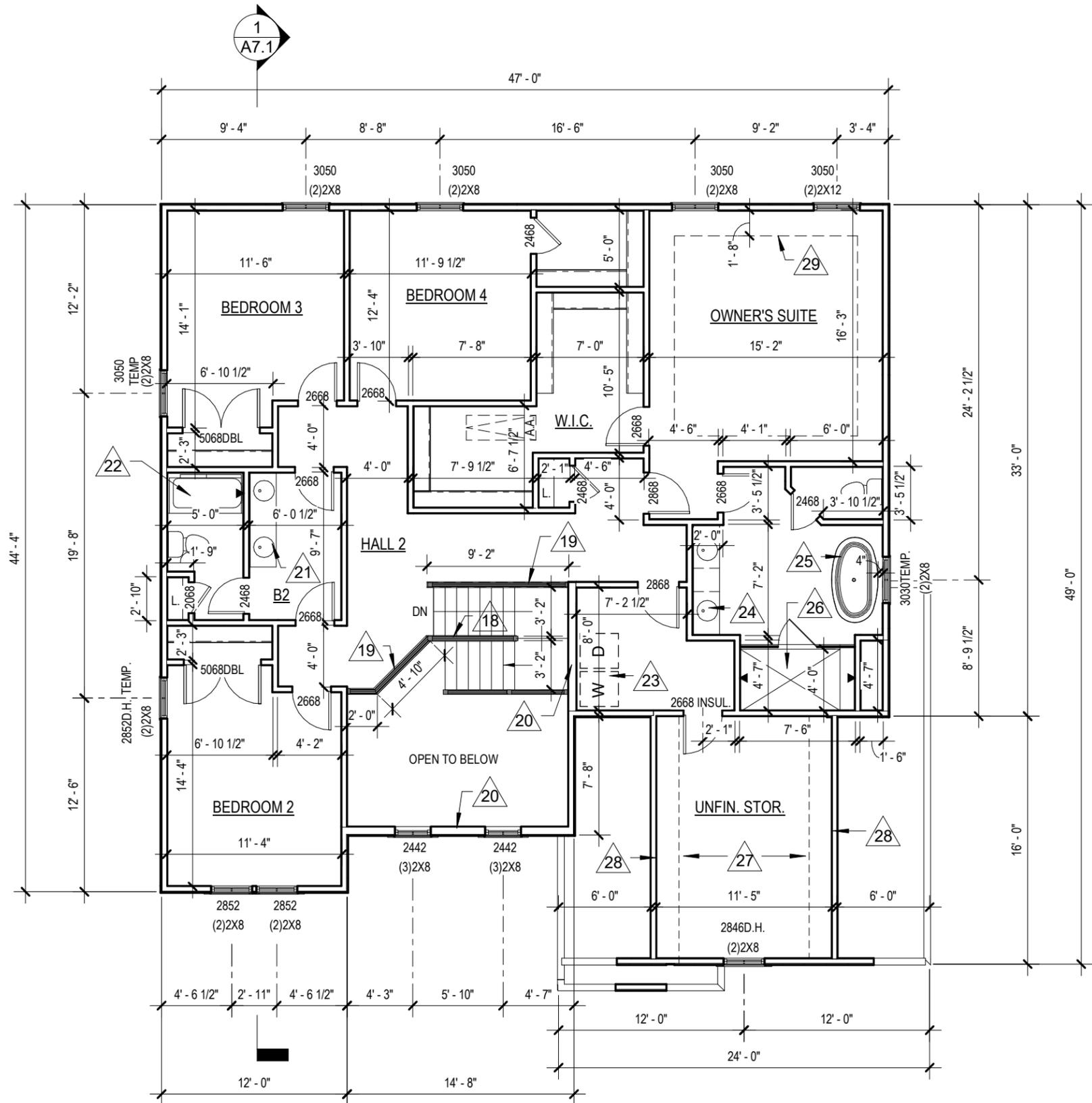
A3.2

PLAN NOTES	
NUM	NOTE
1	MASONRY / CONC. FRONT PORCH W/ 7'-0" BRICK STEPS. 10X10 PVC WRAPPED COLUMNS AND BLACK POWDER COATED ALUM. RAILINGS.
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INSTALL C/O DETECTOR PER CODE SECTION R315

S/D MIN. 3' FROM BATHROOM DOORS



NOTE: ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF EXTERIOR WALL SHEATHING OR FACE OF STUD OR CENTERLINE OF WALL, U.N.O.



1 SECOND FLOOR FRAMING PLAN
1/8" = 1'-0"

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THE JEMMA
SECOND FLOOR FRAMING PLAN
PARK STREET - LOT 1
EMERALD SERIES - ELEVATION C

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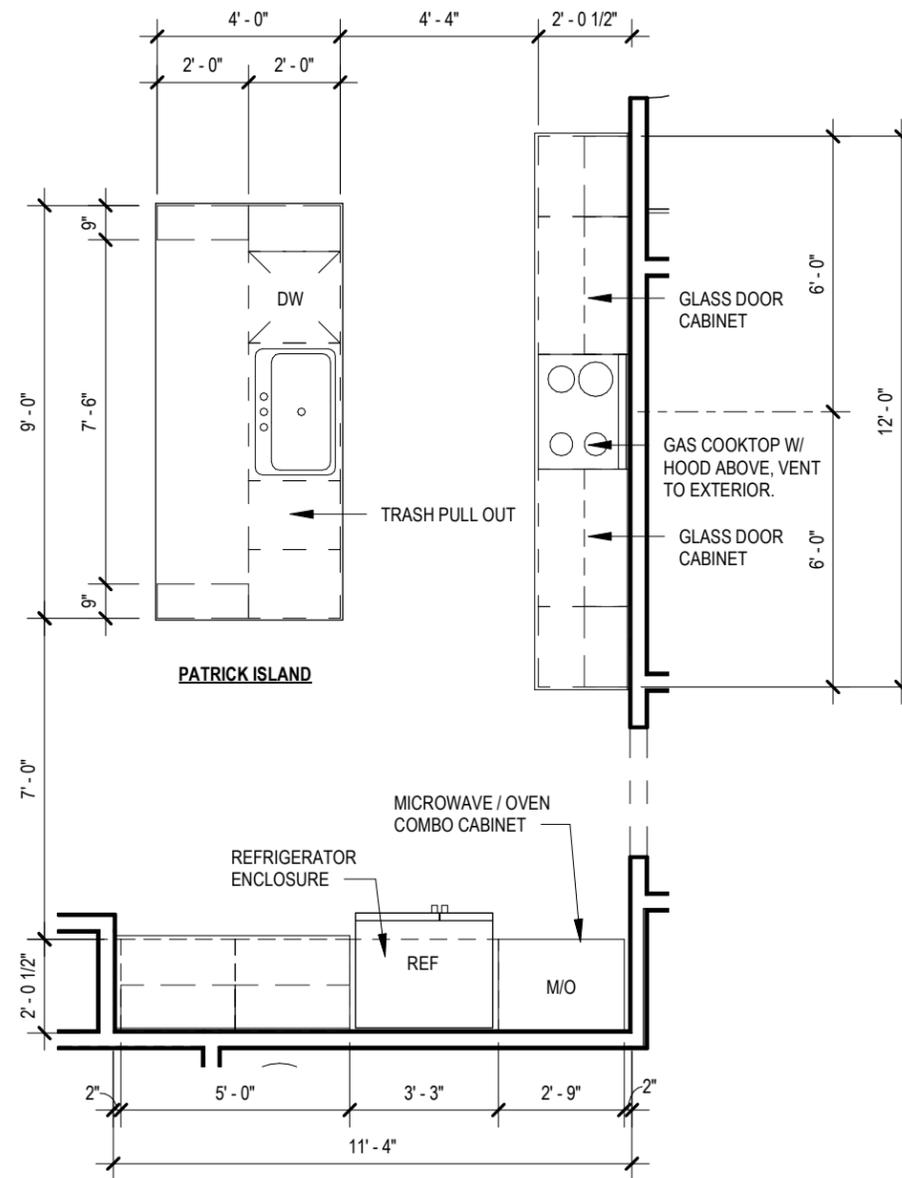
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A3.3



**FIRE EXTINGUISHER TYPE
2-A:10-B:C OR APPROVED
EQUIVALENT REQUIRED IN
KITCHEN PER R331 2018 VRC**



1 ENLARGED KITCHEN PLAN
1/4" = 1'-0"



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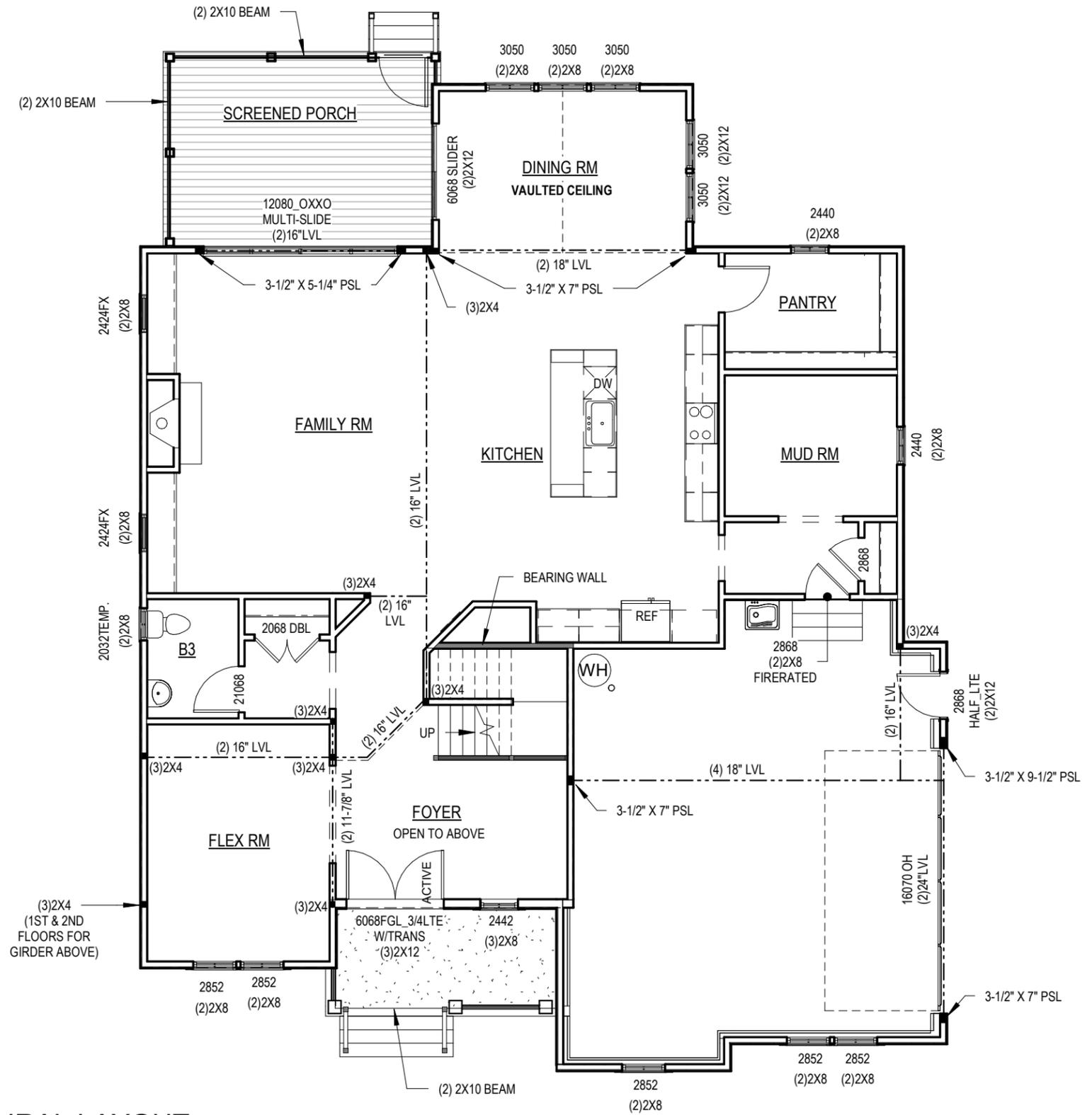
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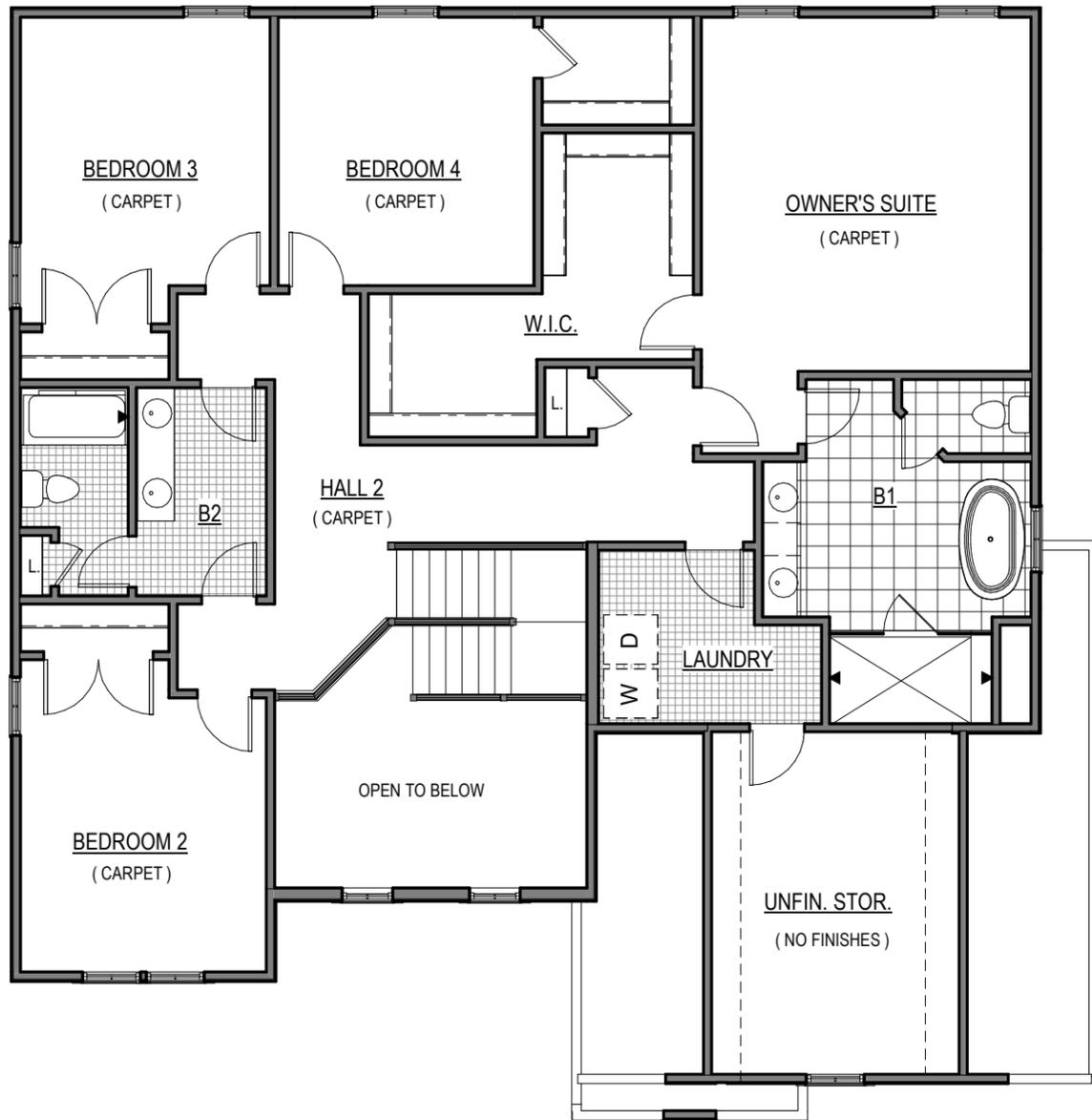
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MULTI PLY COLUMNS OF 3 OR MORE 2X LUMBER MUST BE FASTENED PER NDS SPECIFICATIONS USING 30D NAILS OR 1/2 INCH BOLTS OR APPROVED EQUIVALENT.

1 FIRST FLOOR STRUCTURAL LAYOUT
 1/8" = 1'-0"



2 SECOND FLOOR FINISH PLAN
1/8" = 1'-0"

PLAN SYMBOL LEGEND

- PULL DOWN STEPS
- ATTIC ACCESS (FIELD LOCATE)
- FIRE EXTINGUISHER

- VINYL
- CARPET
- DECKING
- CONCRETE
- HARDWOOD
- LVP



1 FIRST FLOOR FINISH PLAN
1/8" = 1'-0"



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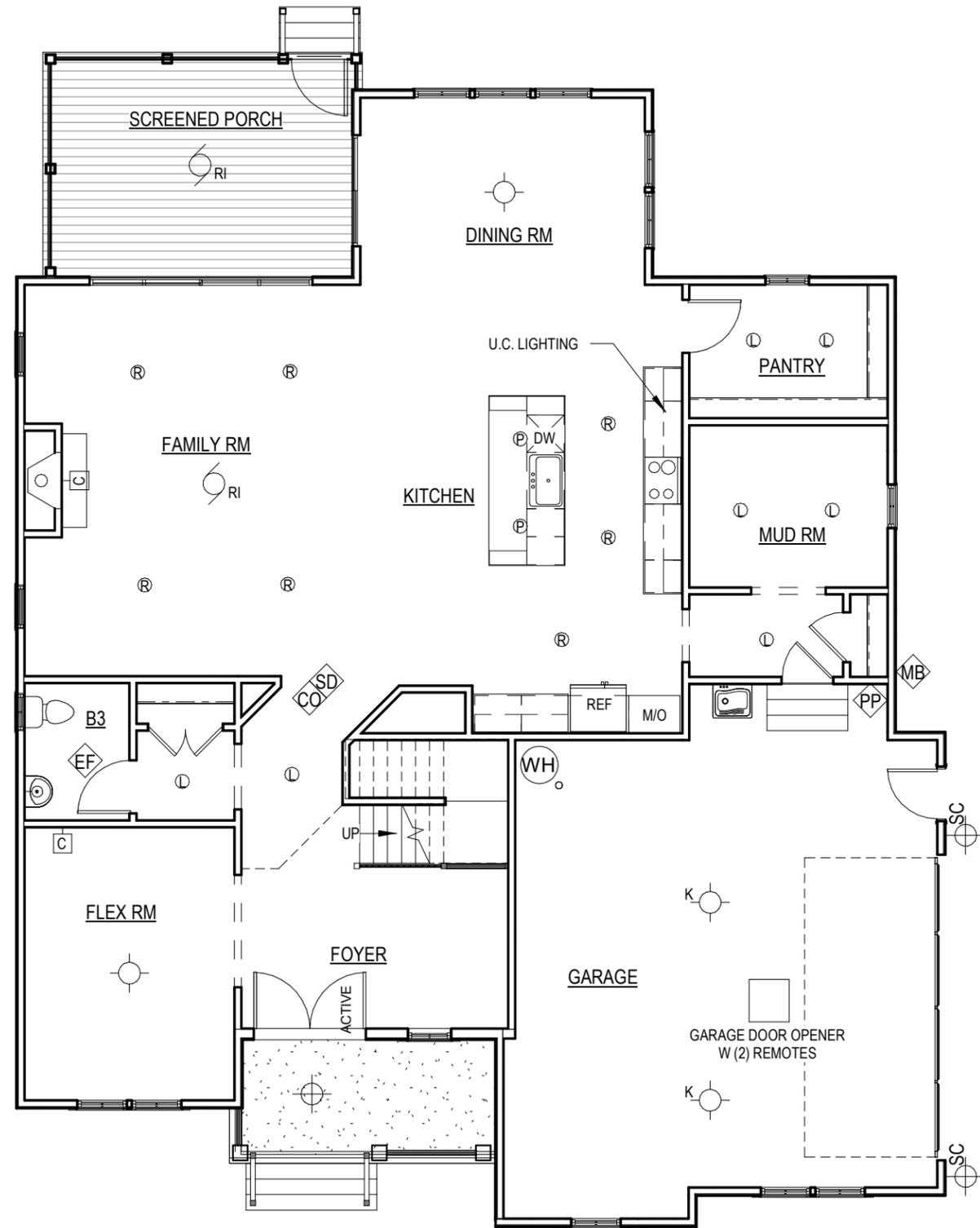
REVISION

ELECTRICAL FIXTURES		
DESCRIPTION	COUNT	COMMENTS
CABLE JACK	6	
CEILING FAN ROUGH-IN	3	
CEILING LIGHT	6	
CEILING LIGHT - KEYLESS	3	
CO DETECTOR	2	
EXHAUST FAN	4	
EXTERIOR SIDE COACH LIGHT	2	
LED LIGHT	20	
METER BASE	1	
PENDANT	2	
POWER PANEL	1	
RECESSED LIGHT	7	
SCONCE	5	
SMOKE DETECTOR	5	
SURFACE MOUNT	1	

ELECTRICAL SYMBOL LEGEND

 SMOKE DETECTOR	 CEILING FAN/LIGHT
 CO DETECTOR	 CEILING LIGHT
 METER BASE	 VANITY SCONCE
 POWER PANEL	 LED LIGHT
 SPOTLIGHT	 EXTERIOR FRONT COACH
 CABLE JACK	 EXTERIOR REAR COACH
 PHONE JACK	 EXTERIOR SIDE COACH
 EXHAUST FAN	 RECESSED LIGHTING
 CEILING LIGHT/KEYLESS	 PENDANT LIGHT
 EXTERIOR SURFACE MOUNT	
 CEILING FAN ROUGH-IN	

NOTES:
 1. ELECTRICAL OUTLETS INSTALLED PER V.R.C. 2018 CODE.
 2. ELECTRICAL FIXTURES NOTED ON PLANS ARE FOR SELECTIONS PURPOSES ONLY. EXACT LOCATIONS OF FIXTURES TO BE VERIFIED AT ELECTRICAL WALK THRU AND MAY NOT BE INSTALLED AS NOTED ON PLANS.



1 FIRST FLOOR LIGHTING PLAN
 1/8" = 1'-0"

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THE JEMMA
 FIRST FLOOR LIGHTING PLAN
 PARK STREET - LOT 1
 EMERALD SERIES - ELEVATION C

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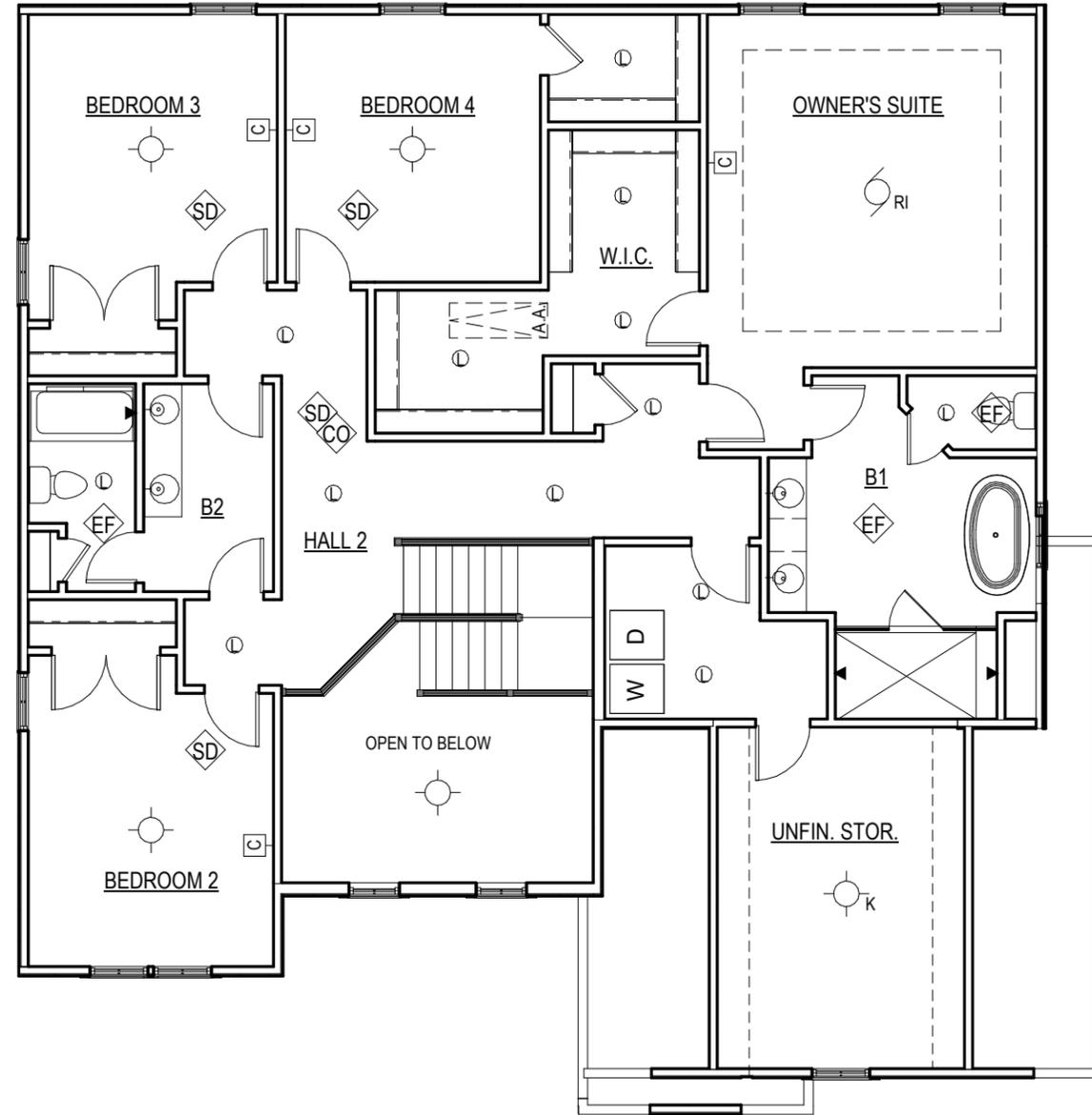
A5.1

ELECTRICAL FIXTURES		
DESCRIPTION	COUNT	COMMENTS
CABLE JACK	6	
CEILING FAN ROUGH-IN	3	
CEILING LIGHT	6	
CEILING LIGHT - KEYLESS	3	
CO DETECTOR	2	
EXHAUST FAN	4	
EXTERIOR SIDE COACH LIGHT	2	
LED LIGHT	20	
METER BASE	1	
PENDANT	2	
POWER PANEL	1	
RECESSED LIGHT	7	
SCONCE	5	
SMOKE DETECTOR	5	
SURFACE MOUNT	1	

ELECTRICAL SYMBOL LEGEND

 SMOKE DETECTOR	 CEILING FAN/LIGHT
 CO DETECTOR	 CEILING LIGHT
 METER BASE	 VANITY SCONCE
 POWER PANEL	 LED LIGHT
 SPOTLIGHT	 EXTERIOR FRONT COACH
 CABLE JACK	 EXTERIOR REAR COACH
 PHONE JACK	 EXTERIOR SIDE COACH
 EXHAUST FAN	 RECESSED LIGHTING
 CEILING LIGHT/KEYLESS	 PENDANT LIGHT
 EXTERIOR SURFACE MOUNT	
 CEILING FAN ROUGH-IN	

NOTES:
 1. ELECTRICAL OUTLETS INSTALLED PER V.R.C. 2018 CODE.
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1 SECOND FLOOR LIGHTING PLAN
 1/8" = 1'-0"

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THE JEMMA
 SECOND FLOOR LIGHTING PLAN
 PARK STREET - LOT 1
 EMERALD SERIES - ELEVATION C

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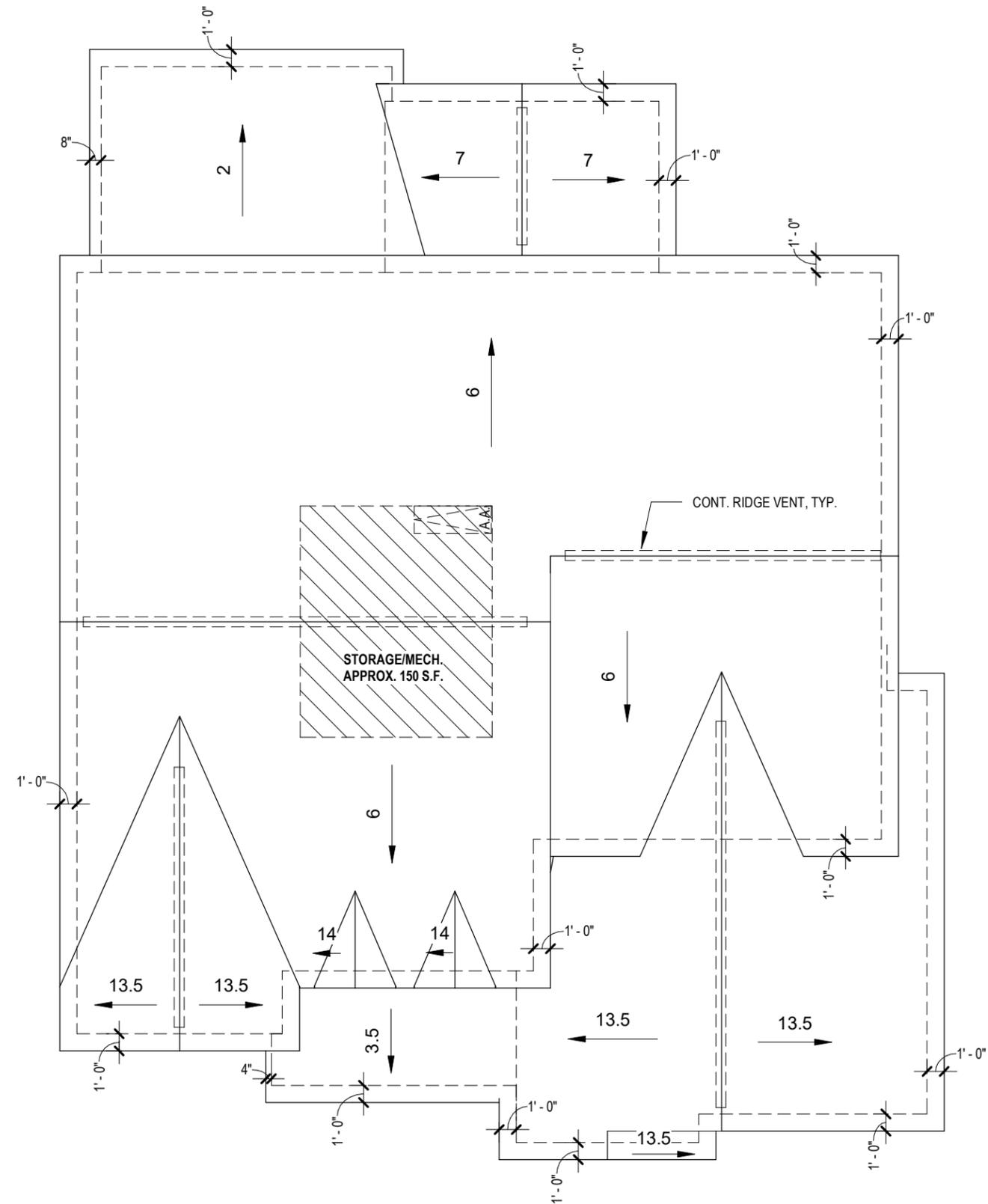


R905.1 ROOF COVERING APPLICATION.
 ROOF COVERINGS SHALL BE APPLIED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THIS SECTION AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. UNLESS OTHERWISE SPECIFIED IN THIS SECTION, ROOF COVERINGS SHALL BE INSTALLED TO RESIST THE COMPONENT AND CLADDING LOADS SPECIFIED IN TABLE R301.2(2), ADJUSTED FOR HEIGHT AND EXPOSURE IN ACCORDANCE WITH TABLE R301.2(3).

R905.2 ASPHALT SHINGLES.
 THE INSTALLATION OF ASPHALT SHINGLES SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION.

SECTION R806 ROOF VENTILATION
R806.1 VENTILATION REQUIRED.

ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW.



1 ROOF PLAN
 1/8" = 1'-0"

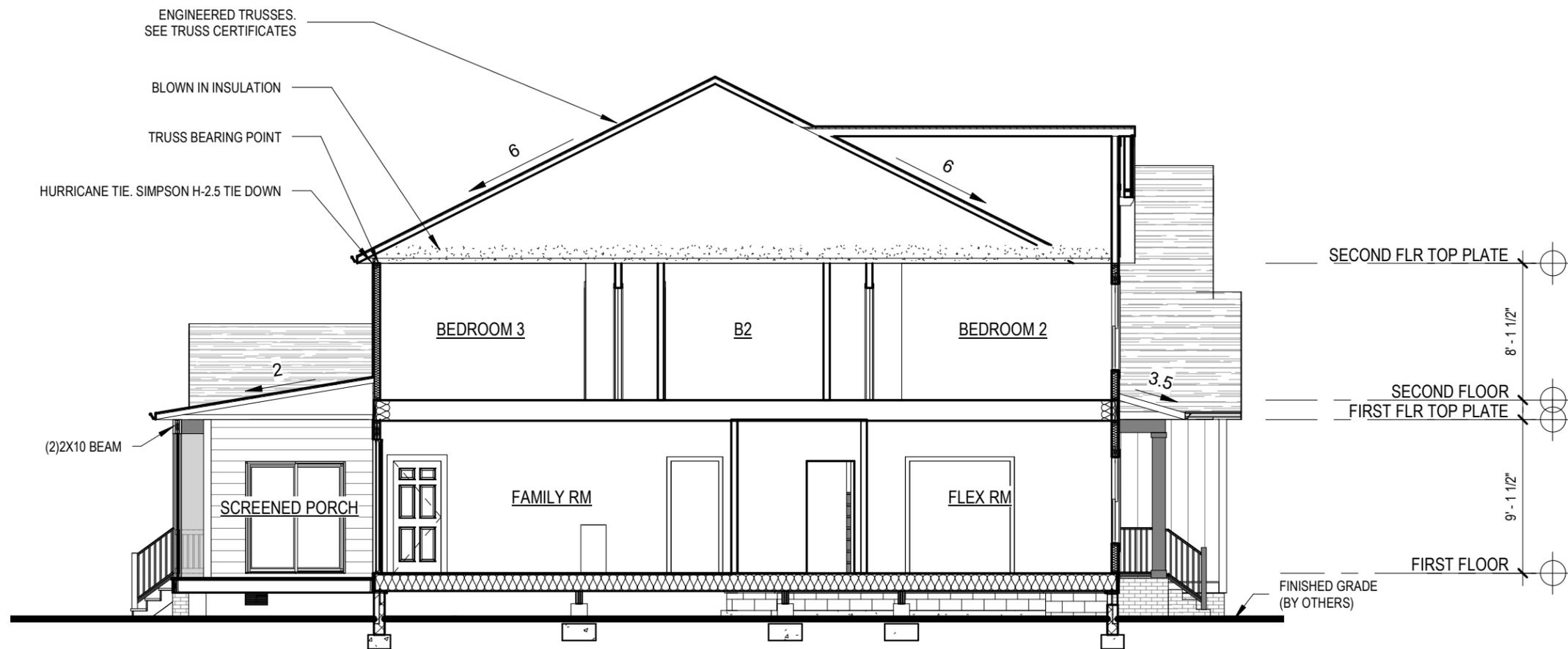
LEGEND

- 5 → RAFTER SLOPE & DIRECTION
- LINE OF BEARING

NOTE: ROOF SLOPE LESS THAN 4/12 REQUIRES DOUBLE UNDERLAYMENT.



NOTES:
 1. SEE TYPICAL WALL SECTION FOR ROOF & WALL DETAILS.
 2. ROOF SLOP LESS THAN 4/12 REQUIRES DOUBLE UNDERLAYMENT.



① BUILDING SECTION
 1/8" = 1'-0"

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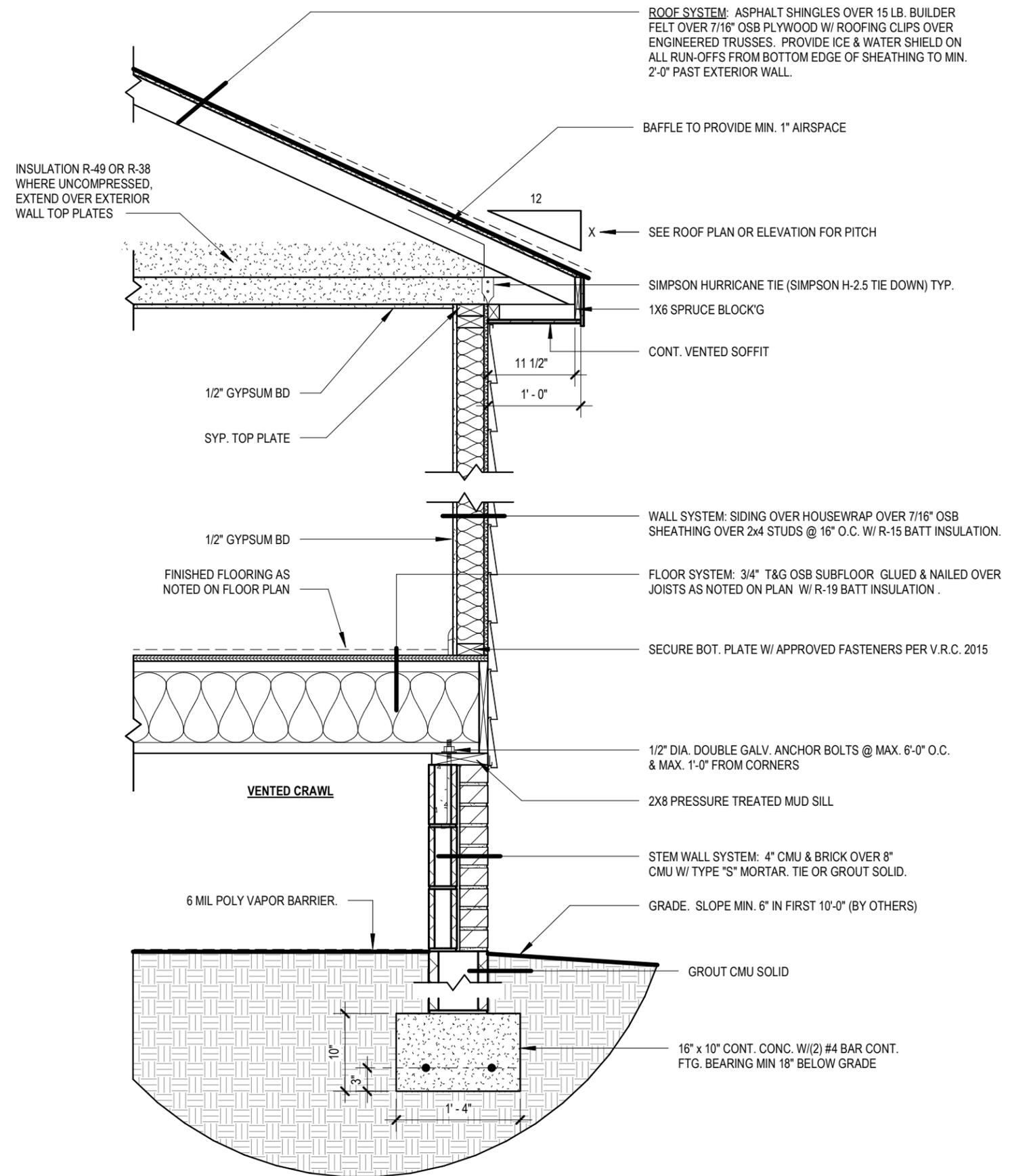
THE JEMMA
 BUILDING SECTION
 PARK STREET - LOT 1
 EMERALD SERIES - ELEVATION C

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A7.1



① TYP. WALL SECTION - BRICK & BLOCK
 3/4" = 1'-0"

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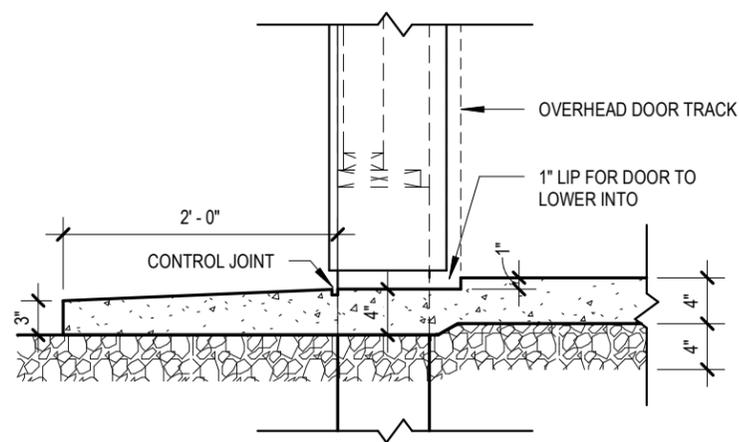
THE JEMMA
 TYPICAL WALL SECTION
 PARK STREET - LOT 1
 EMERALD SERIES - ELEVATION C

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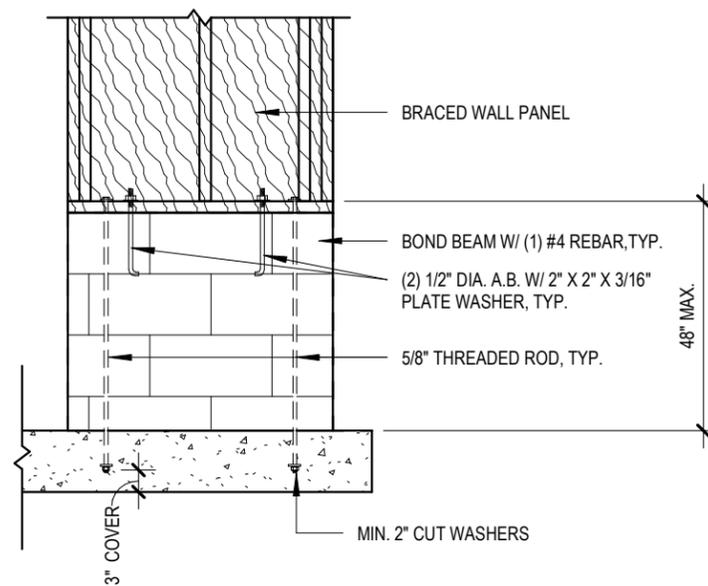
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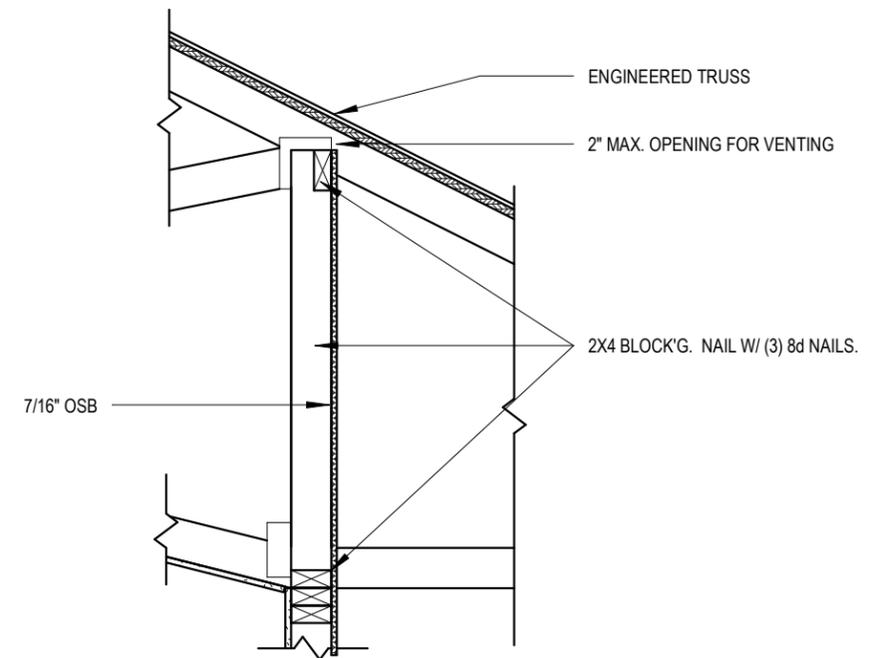
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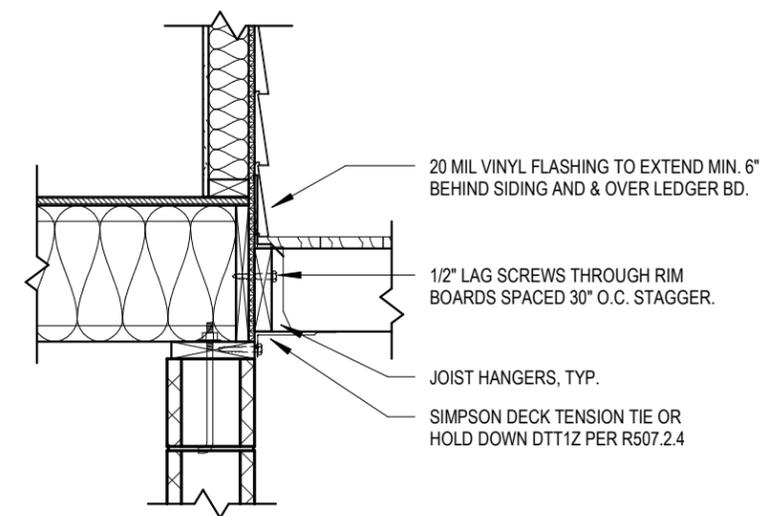
3 GARAGE SLAB DETAIL
3/4" = 1'-0"



2 STEM WALL REINFORCEMENT
1/2" = 1'-0"



4 BLOCKING ABOVE BW PANEL
3/4" = 1'-0"



1 DECK ATTACHMENT DETAIL
3/4" = 1'-0"

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THE JEMMA
MISC. DETAILS
PARK STREET - LOT 1
EMERALD SERIES - ELEVATION C

THE JEMMA
MISC. DETAILS
PARK STREET - LOT 1

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DATE:
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REVISION

A7.3

