

Prior approval must be obtained per Hanover County Third Party Inspection Policy to perform any inspection other than a footing inspection.

Designed and Reviewed under 2021 Virginia Residential Code

Provide engineer stamped truss diagrams and floor layouts at time of inspection

HVAC duct pressure test required per 1103.3.3 if HVAC ducts or equipment are located outside conditioned space

Sub trades require separate permits

BR2025-00176
UNIT# 1

BR2025-00199
UNIT #2

BR2025-00177
UNIT# 3

BR2025-00179
UNIT# 4



STAGS TRAIL

PAD "S"

EMERALD SERIES

BUILD SET - 03/21/2025

9245 SHADY GROVE RD., SUITE 200

MECHANICSVILLE, VA 23116

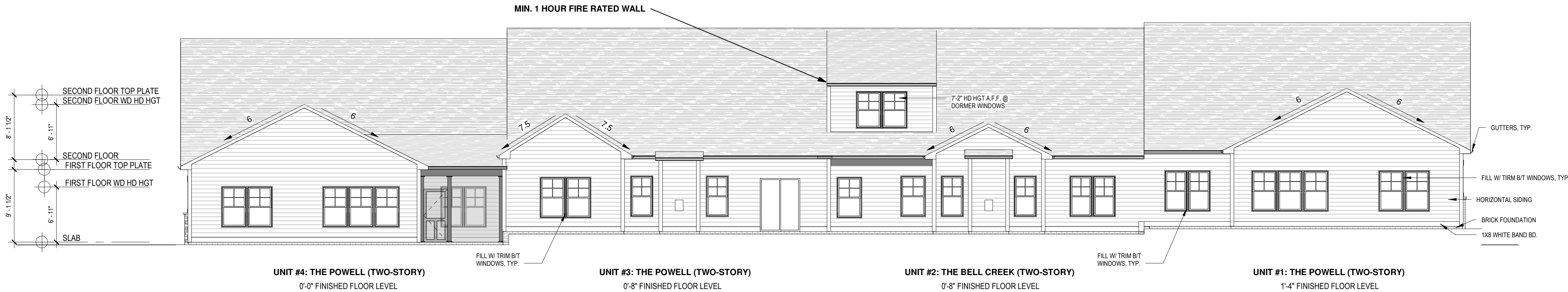
PHONE: 804-249-2818

R703.12.1 Clearances.
On exterior stud walls, adhered masonry veneer shall be installed:
1.Minimum of 4 inches (102 mm) above the earth;
2.Minimum of 2 inches (51 mm) above paved areas; or
3.Minimum of ½ inch (12.7 mm) above exterior walking surfaces that are supported by the same foundation that supports the exterior wall.

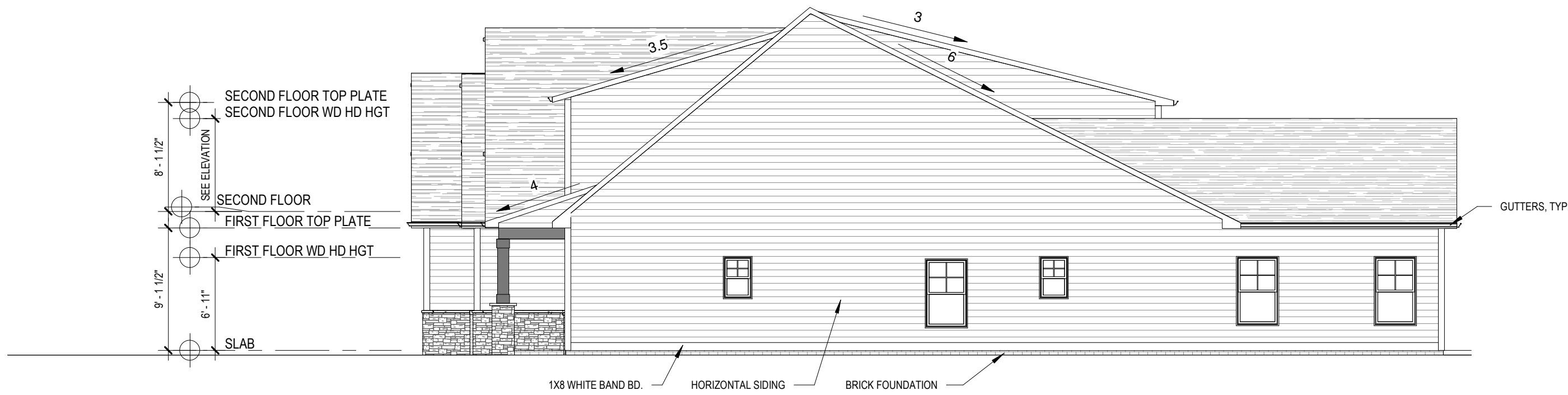
Stone veneer to be installed per R703.12 through R703.12.3



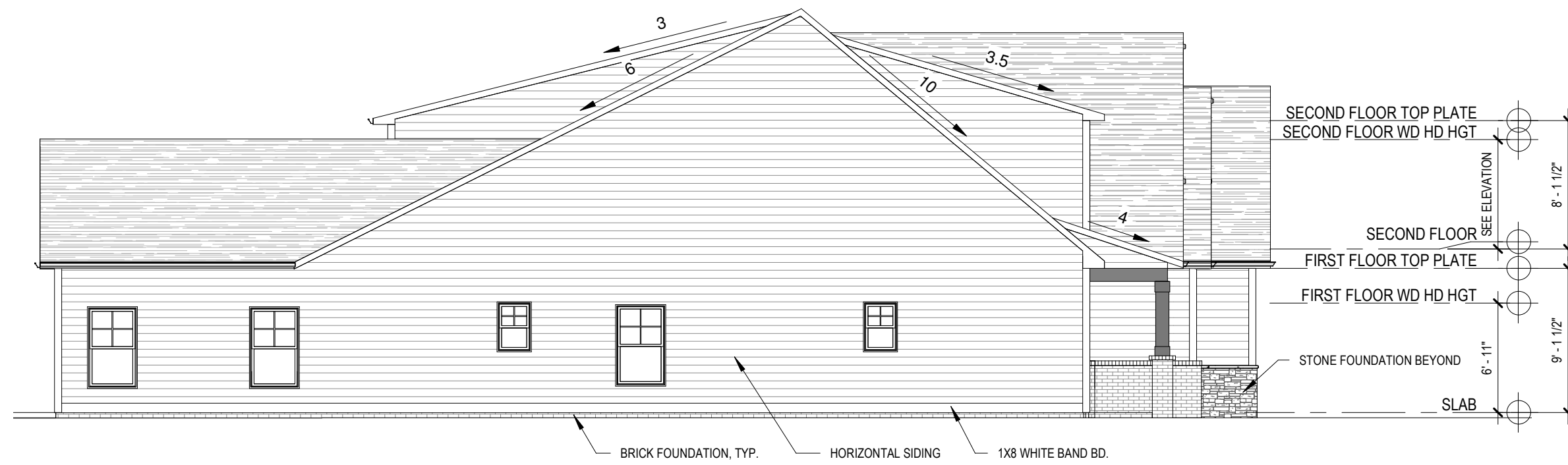
1 FRONT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"



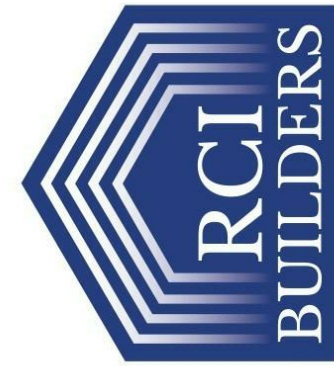
4 RIGHT ELEVATION
1/8" = 1'-0"



3 LEFT ELEVATION
1/8" = 1'-0"



9245 SHADY GROVE RD.
SUITE 200
MECHANICSVILLE, VA 23116
PHONE: 804-249-2818



STAGS TRAIL
ELEVATIONS
PAD "S"

DRAWN BY:
CW

DATE:
03/21/2025

REVISION:

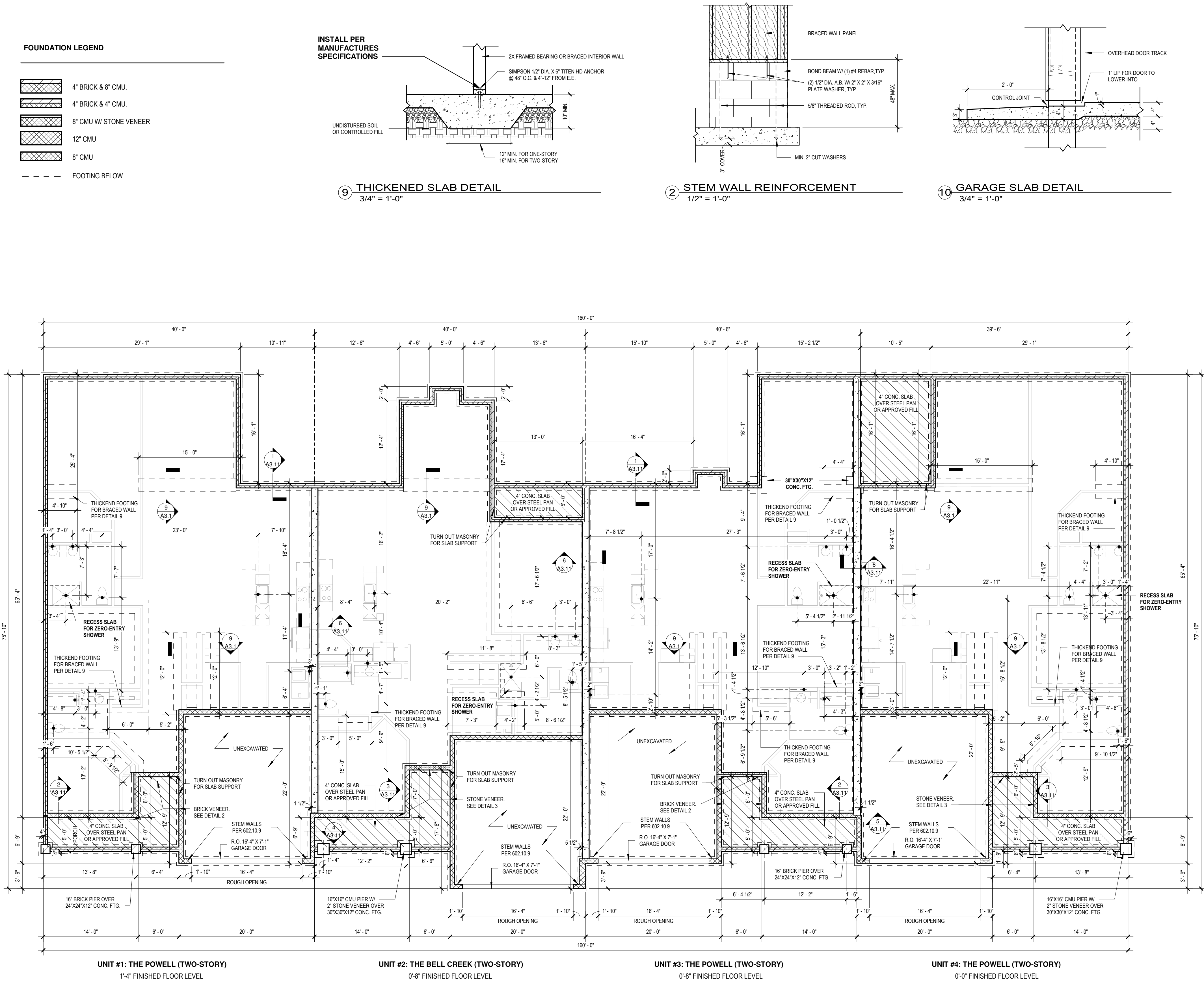
NUM	DATE	REV BY	DESCRPT.
-----	------	--------	----------

A2.1

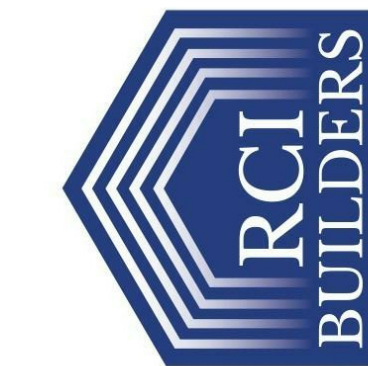
R302.11 Fire-blocking shall be provided in wood-framed construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1. Vertically at the ceiling and floor levels.
 - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

10 Mil Polyethylene Vapor Barrier Under Slab required per 2021 VRC



9245 SHADY GROVE RD.
SUITE 200
MECHANICSVILLE, VA 23116
PHONE: 804-249-2818



STAGS TRAIL
FOUNDATION PLAN
PAD "S"

DRAWN BY:
CW

DATE:
03/21/2025

REVISION:

NUM	DATE	REV BY	DESCRPT.
-----	------	--------	----------

A3.1

PLAN NOTES	
NUM	NOTE
1	10'X10" TREATED WOOD COLUMN WRAPPED IN PVC OVER STONE PIER
2	10'X10" TREATED WOOD COLUMN WRAPPED IN PVC OVER BRICK PIER
3	(2)2X10 BEAM ABOVE
4	R.O. 16'-4" X 7'-1" GARAGE DOOR W/ (1) ROW OF WINDOWS
6	RAIL W/ PICKETS OVER SLOPED KNEEWALL
7	CENTER OF VAULT
8	VAULT EXTENTS
9	3'-0" WIDE X 6'-8" HIGH CASED OPENING
10	GAS FIREPLACE W/ MANTEL AND SURROUND. PROVIDE SPECS.
11	PARKING BOLLARD W/ WATER HEATER
12	6'-8" DOUBLE WALL
13	2X6 STUD WALL
14	"PRE-BATT" + PRE SHEETROCK" W/ 5/8" TYPE "X" ALONG TUB/SHOWER WALL. (DO NOT INSTALL TUB/SHOWER UNTIL 5/8" SHEETROCK IS INSTALLED)
15	KNEEWALL
16	APPROX. 8'-0" CEILING LINE
17	ELECTRIC COOKTOP W/ HOOD ABOVE. VENT TO EXTERIOR
18	GAS COOKTOP W/ HOOD ABOVE. VENT TO EXTERIOR
19	42" VANITY W/ DRAWER STACK
20	32"X60" FIBERGLASS TUB/SHOWER
21	MIN. 10" LANDING AT TOP OF STAIRS
22	UL #364 1-HR FIRERATED WALL
23	UL #336 2-HR FIRERATED WALL (2X4 STUD WALL)
24	UL #336 2-HR FIRERATED WALL (2X6 STUD WALL)
25	16'-0" FENCE PANEL (APPROX. LENGTH)
26	DOUBLE WALL
27	EXTEND BEARING WALL OVER COMMON GARAGE WALL FOR TRUSS BEARING PER TRUSS LAYOUT
28	GAS SEAT. SEE DETAIL 14
29	48" VANITY W/ DRAWER STACK
30	BEARING WALL
31	ELECTRIC COOKTOP W/ MICROWAVE ABOVE
32	60" VANITY W/ DRAWER STACK
33	8'-0" WIDE X 6'-8" HIGH CASED OPENING
34	36" VANITY
35	36"X60" FIBERGLASS SHOWER
36	ZERO-ENTRY CERAMIC SHOWER W/ BENCH & GLASS DOOR
37	DOUBLE SIDED GAS FIREPLACE W/ SURROUND & MANTLE. PROVIDE SPECS.
38	6'X6" TREATED POST IN VINYL SLEEVE
39	WEATHERSTRIPPING AROUND ACCESS PANEL. SCREW FRAME INTO PLACE. DO NOT NAIL.

Firewall clips at each H stud,
at each floor level and max.
10' vertically for wall heights
up to 23'. Wall height > 23',
1st clip at 5', then 10' max.
spacing.
Full wall height horizontal
fire blocking at max. 10' o.c.

STAGS TRAIL: SQUARE FOOTAGE

UNIT #1 POWELL: FINISHED SQ.FT.
FIRST FLOOR: 2100 S.F.
SECOND FLOOR: 449 S.F.
TOTAL: 2549 S.F.

UNFINISHED SQ.FT.
FRONT PORCH: 136 S.F.
GARAGE: 436 S.F.
UNFIN. STORAGE/MECH.: 219 S.F.

UNIT #3 POWELL: FINISHED SQ.FT.
FIRST FLOOR: 1887 S.F.
SECOND FLOOR: 53 S.F.
TOTAL: 1940 S.F.

UNFINISHED SQ.FT.
FRONT PORCH: 136 S.F.
GARAGE: 436 S.F.
UNFIN. WALKUP STORAGE: 241 S.F.

UNIT #2 BELL CREEK: FINISHED SQ.FT.
FIRST FLOOR: 1814 S.F.
SECOND FLOOR: 87 S.F.
TOTAL: 1881 S.F.

UNFINISHED SQ.FT.
FRONT PORCH: 142 S.F.
UNFIN. SECOND FLOOR: 314 S.F.
UNFIN. STORAGE/MECH.: 312 S.F.
REAR PORCH: 68 S.F.
GARAGE: 436 S.F.

UNIT #4 POWELL: FINISHED SQ.FT.
FIRST FLOOR: 2100 S.F.
SECOND FLOOR: 449 S.F.
TOTAL: 2549 S.F.

UNFINISHED SQ.FT.
FRONT PORCH: 136 S.F.
GARAGE: 436 S.F.
SCREEN PORCH: 168 S.F.
UNFIN. WALKUP STORAGE: 219 S.F.

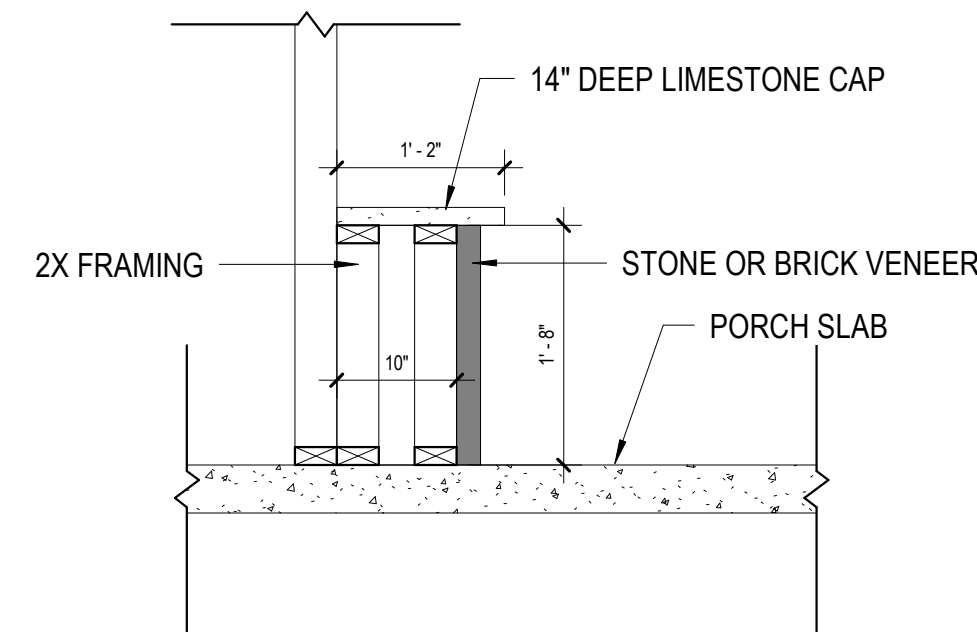
**NOTE: ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF EXTERIOR
WALL SHEATHING OR FACE OF STUD OR CENTERLINE OF WALL, U.N.O.**

NOTES:
MIN. 22"X30" ATTIC ACCESS TO ALL ATTIC AREAS THAT EXCEED 30" IN HEIGHT AND 30 SQ.FT

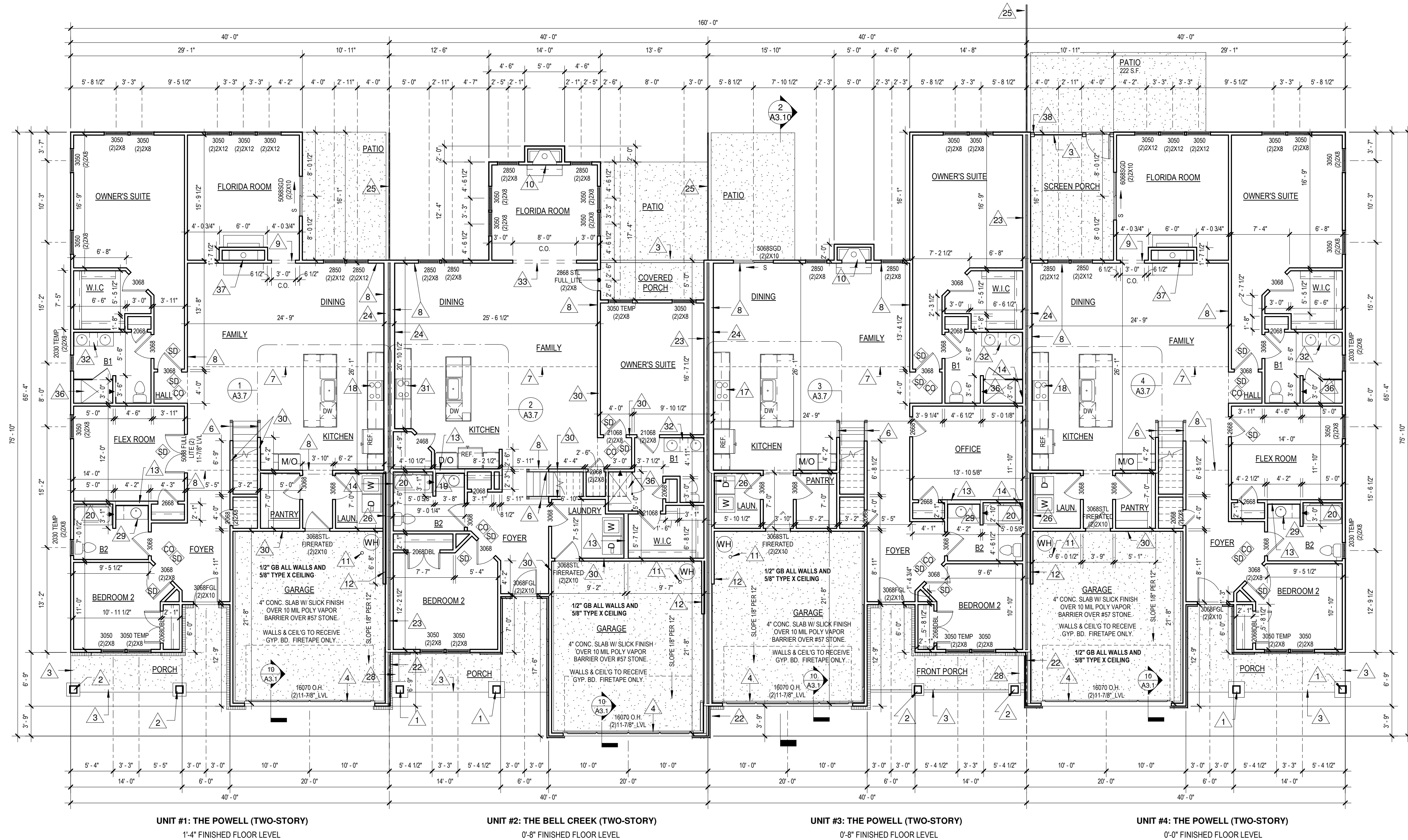
HVAC DUCT PRESSURE TEST REQUIRED PER N1103.3.3 IF HVAC DUCTS OR EQUIPMENT ARE LOCATED OUTSIDE CONDITIONED SPACE

CONTINUOUS OR INTERMITTENT MECHANICAL VENTILATION REQUIRED PER M1507.3.3

SD/CO TO BE MIN. 3' FROM FULL BATH DOOR IF POSSIBLE

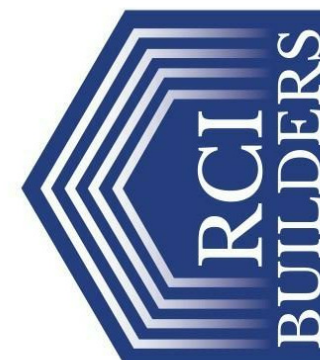


14 GAS SEAT DETAIL
3/4" = 1'-0"



1 FIRST FLOOR FRAMING PLAN
1/8" = 1'-0"

9245 SHADY GROVE RD.
SUITE 200
MECHANICSVILLE, VA 23116
PHONE: 804-249-2818



STAGS TRAIL

FIRST FLOOR FRAMING PLAN

PAD "S"

DRAWN BY:
CW

DATE:
03/21/2025

REVISION:

NUM	DATE	REV BY	DESCRPT.
-----	------	--------	----------

A3.2

PLAN NOTES	
NUM	NOTE
1	10"x10" TREATED WOOD COLUMN WRAPPED IN PVC OVER STONE PIER
2	10"x10" TREATED WOOD COLUMN WRAPPED IN PVC OVER BRICK PIER
3	(2)2X10 BEAM ABOVE
4	R.O. 16'-4" X 7'-1" GARAGE DOOR W/ (1) ROW OF WINDOWS
6	RAIL W/ PICKETS OVER SLOPED KNEEWALL
7	CENTER OF VAULT
8	VAULT EXTENTS
9	3'-0" WIDE X 6'-8" HIGH CASED OPENING
10	GAS FIREPLACE W/ MANTEL AND SURROUND. PROVIDE SPECS.
11	PARKING BOLLARD W/ WATER HEATER
12	6'-8" DOUBLE WALL
13	2X6 STUD WALL
14	*PRE-BATT* + PRE SHEETROCK* W/ 5/8" TYPE "X" ALONG TUB/SHOWER WALL. (DO NOT INSTALL TUB/SHOWER UNTIL 5/8" SHEETROCK IS INSTALLED)
15	KNEEWALL
16	APPROX. 8'-0" CEILING LINE
17	ELECTRIC COOKTOP W/ HOOD ABOVE. VENT TO EXTERIOR
18	GAS COOKTOP W/ HOOD ABOVE. VENT TO EXTERIOR
19	42" VANITY W/ DRAWER STACK
20	32"x60" FIBERGLASS TUB/SHOWER
21	MIN. 10" LANDING AT TOP OF STAIRS
22	UL #364 1-HR FIRERATED WALL
23	UL #336 2-HR FIRERATED WALL (2X4 STUD WALL)
24	UL #336 2-HR FIRERATED WALL (2X6 STUD WALL)
25	16'-0" FENCE PANEL (APPROX. LENGTH)
26	DOUBLE WALL
27	EXTEND BEARING WALL OVER COMMON GARAGE WALL FOR TRUSS BEARING PER TRUSS LAYOUT
28	GAS SEAT. SEE DETAIL 14
29	48" VANITY W/ DRAWER STACK
30	BEARING WALL
31	ELECTRIC COOKTOP W/ MICROWAVE ABOVE
32	60" VANITY W/ DRAWER STACK
33	8'-0" WIDE X 6'-8" HIGH CASED OPENING
34	36" VANITY
35	36"x60" FIBERGLASS SHOWER
36	ZERO-ENTRY CERAMIC SHOWER W/ BENCH & GLASS DOOR
37	DOUBLE SIDED GAS FIREPLACE W/ SURROUND & MANTLE. PROVIDE SPECS.
38	6"x8" TREATED POST IN VINYL SLEEVE
39	WEATHERSTRIPPING AROUND ACCESS PANEL. SCREW FRAME INTO PLACE. DO NOT NAIL.

Unfin. storage requires
perimeter wall insulation
and floor insulation. Door
to be insulated and
weatherstripped

STAGS TRAIL: SQAURE FOOTAGE

UNIT #1 POWELL: FINISHED SQ.FT.

FIRST FLOOR: 2100 S.F.
SECOND FLOOR: 449 S.F.
TOTAL: 2549 S.F.

UNFINISHED SQ.FT.

FRONT PORCH: 136 S.F.
GARAGE: 436 S.F.
UNFIN. STORAGE/MECH.: 219 S.F.

UNIT #3 POWELL: FINISHED SQ.FT.

FIRST FLOOR: 1887 S.F.
SECOND FLOOR: 53 S.F.
TOTAL: 1940 S.F.

UNFINISHED SQ.FT.

FRONT PORCH: 136 S.F.
GARAGE: 436 S.F.
UNFIN. WALKUP STORAGE: 241 S.F.

UNIT #2 BELL CREEK: FINISHED SQ.FT.

FIRST FLOOR: 1814 S.F.
SECOND FLOOR: 67 S.F.
TOTAL: 1881 S.F.

UNFINISHED SQ.FT.

FRONT PORCH: 142 S.F.
UNFIN. SECOND FLOOR: 314 S.F.
UNFIN. STORAGE/MECH.: 312 S.F.
REAR PORCH: 68 S.F.
GARAGE: 436 S.F.

UNIT #4 POWELL: FINISHED SQ.FT.

FIRST FLOOR: 2100 S.F.
SECOND FLOOR: 449 S.F.
TOTAL: 2549 S.F.

UNFINISHED SQ.FT.

FRONT PORCH: 136 S.F.
GARAGE: 436 S.F.
SCREEN PORCH: 168 S.F.
UNFIN. WALKUP STORAGE: 219 S.F.

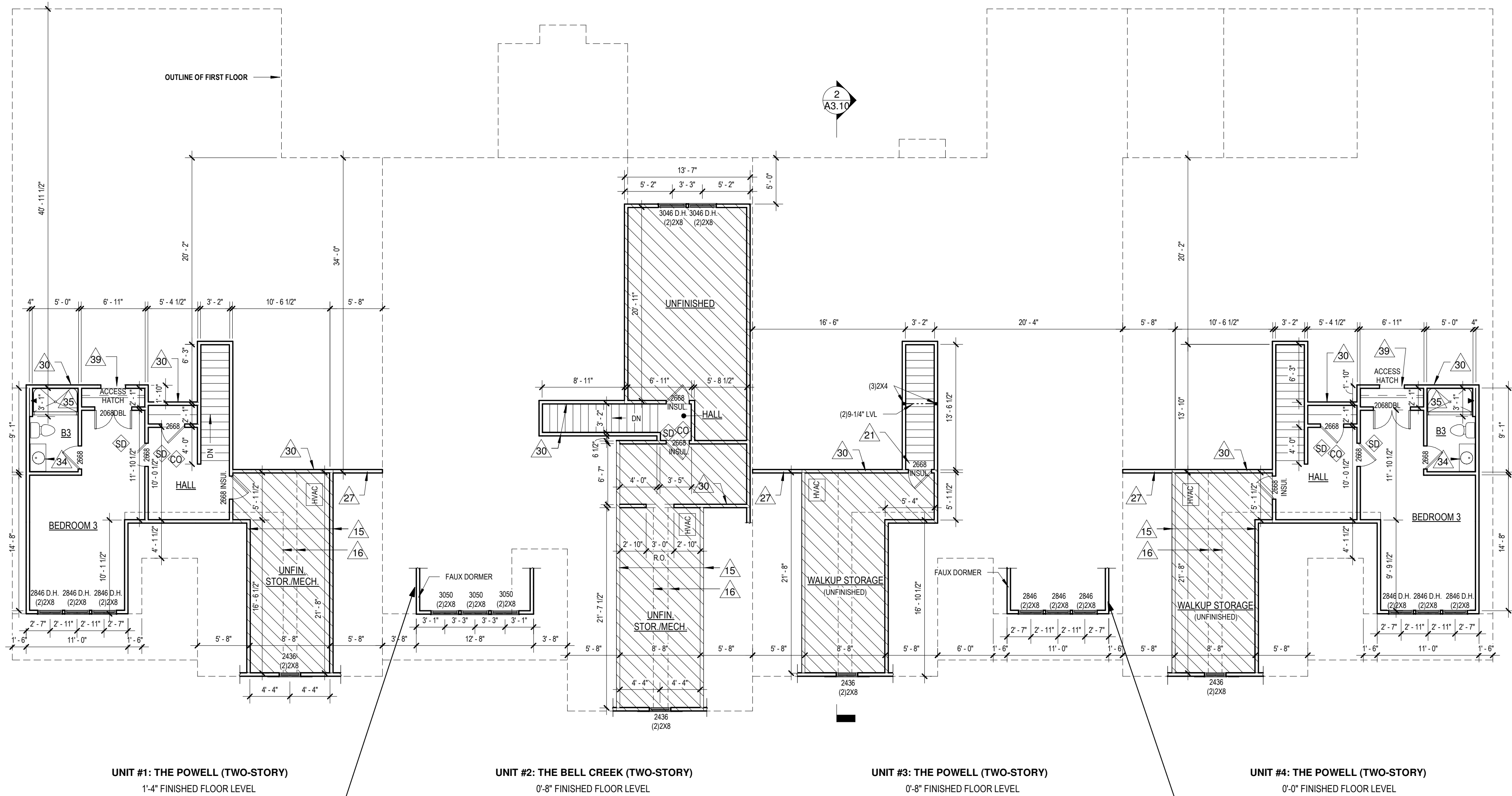
NOTE: ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF EXTERIOR
WALL SHEATHING OR FACE OF STUD OR CENTERLINE OF WALL, U.N.O.

NOTES:

MIN. 22"x30" ATTIC ACCESS TO ALL ATTIC AREAS THAT EXCEED 30" IN HEIGHT AND 30
SQ.FT

HVAC DUCT PRESSURE TEST REQUIRED PER N1103.3.3 IF HVAC DUCTS OR EQUIPMENT
ARE LOCATED OUTSIDE CONDITIONED SPACE

CONTINUOUS OR INTERMITTENT MECHANICAL VENTILATION REQUIRED PER M1507.3.3



UNIT #1: THE POWELL (TWO-STORY)
1'-4" FINISHED FLOOR LEVEL

UNIT #2: THE BELL CREEK (TWO-STORY)
0'-8" FINISHED FLOOR LEVEL

UNIT #3: THE POWELL (TWO-STORY)
0'-8" FINISHED FLOOR LEVEL

UNIT #4: THE POWELL (TWO-STORY)
0'-0" FINISHED FLOOR LEVEL

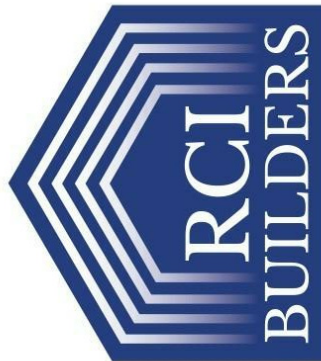
1 HOUR FIRE WALL
REQUIRED, WALL <5' TO
PROPERTY LINE - USE
DETAIL 5/A3.11 BUT SOFFIT IS
REQUIRED TO BE SOLID AND
DRYWALL TIGHT TO ROOF
SHEATHING

① SECOND FLOOR FRAMING PLAN
1/8" = 1'-0"

1 HOUR FIRE WALL
REQUIRED, WALL <5' TO
PROPERTY LINE - USE
DETAIL 5/A3.11 BUT SOFFIT IS
REQUIRED TO BE SOLID AND
DRYWALL TIGHT TO ROOF
SHEATHING

0 4' 8' 16'

9245 SHADY GROVE RD.
SUITE 200
MECHANICSVILLE, VA 23116
PHONE: 804-249-2818



STAGS TRAIL
SECOND FLOOR FRAMING PLAN
PAD "S"

DRAWN BY:
CW

DATE:
03/21/2025

REVISION:

NUM	DATE	REV BY	DESCRPT.
-----	------	--------	----------

A3.3

A horizontal scale bar with tick marks at 0, 4', 8', and 16'. The segments between 0 and 4', 4' and 8', and 8' and 16' are shaded black.



DRAWN BY:
CW

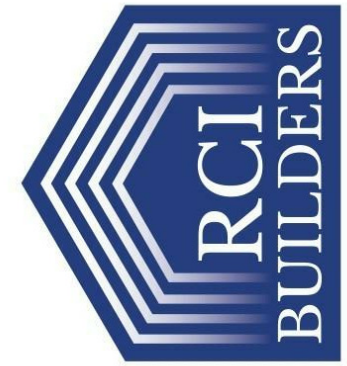
REVISION:

NUM	DATE	REV BY	DESCRIPT.
-----	------	--------	-----------

A3.4



**1/2" ANCHOR BOLTS MAX 6' O.C. AND 4"-12" FROM SILL PLATE ENDS.
EMBED ANCHOR BOLTS MIN. 7". EXTERIOR WALLS AND INTERIOR
BEARING AND BRACED WALLS**



STAGS TRAIL
FIRST FLOOR FINISH PLAN
PAD "S"

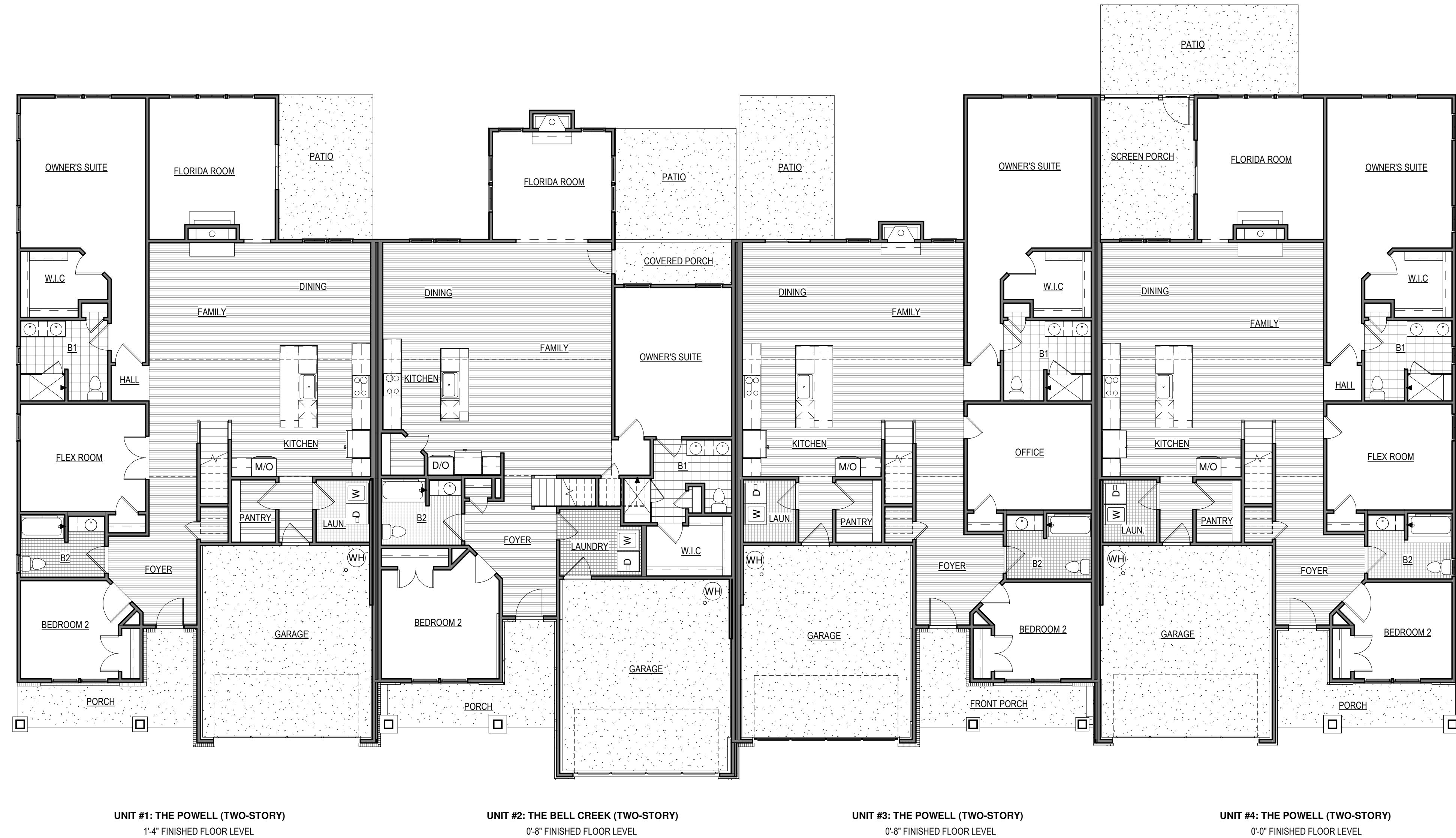
DRAWN BY:
CW

DATE:
03/21/2025

REVISION:

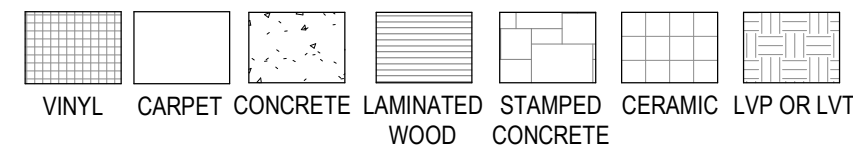
NUM	DATE	REV BY	DESCRIPT.
-----	------	--------	-----------

A3.5



① FIRST FLOOR FINISH PLAN
1/8" = 1'-0"

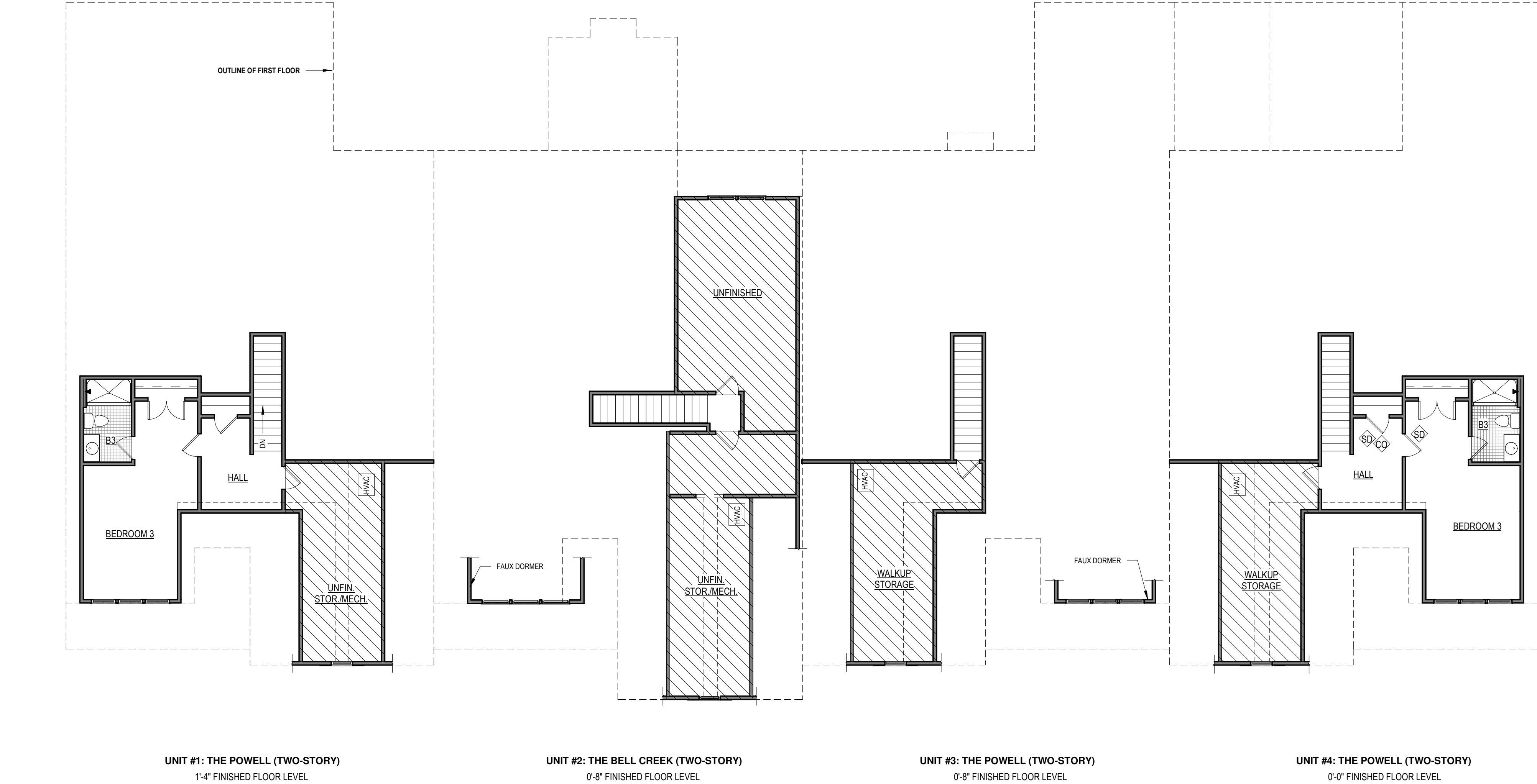
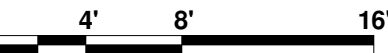
PLAN SYMBOL LEGEND



0 4' 8' 16'

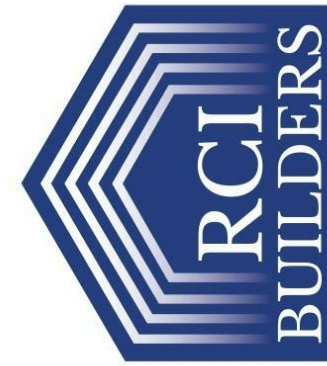
PLAN SYMBOL LEGEND

VINYL	CARPET	CONCRETE	LAMINATED WOOD	STAMPED CONCRETE	CERAMIC	LVP OR LVT



1 SECOND FLOOR FINISH PLAN
1/8" = 1'-0"

9245 SHADY GROVE RD.
SUITE 200
MECHANICSVILLE, VA 23116
PHONE: 804-249-2818



STAGS TRAIL
SECOND FLOOR FINISH PLAN
PAD "S"

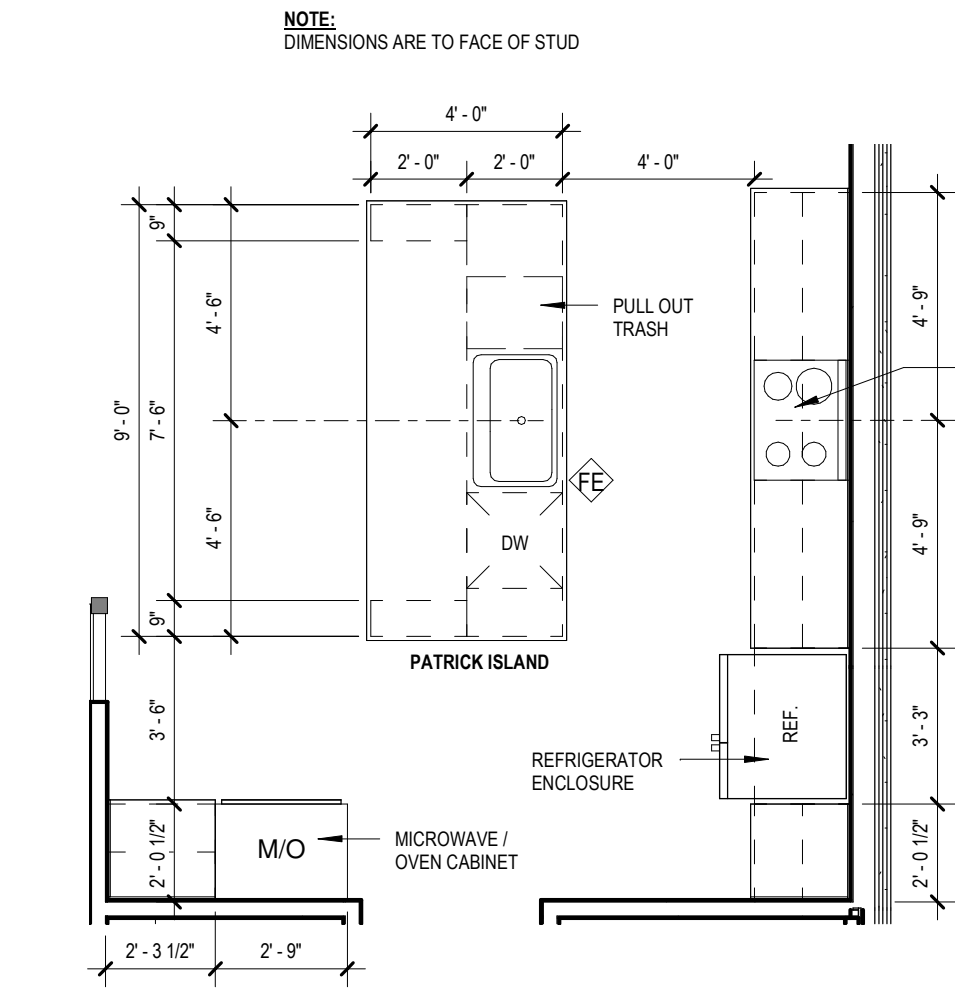
DRAWN BY:
CW

DATE:
03/21/2025

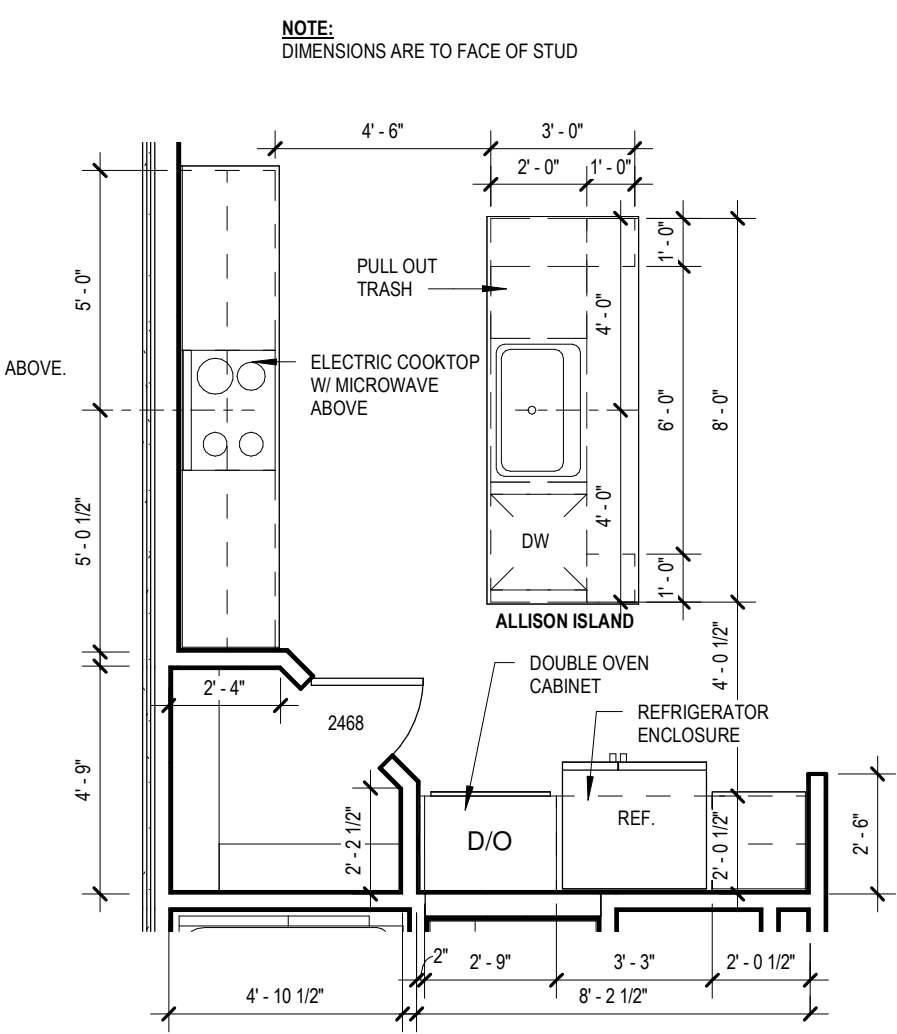
REVISION:

NUM	DATE	REV BY	DESCRIPT.
-----	------	--------	-----------

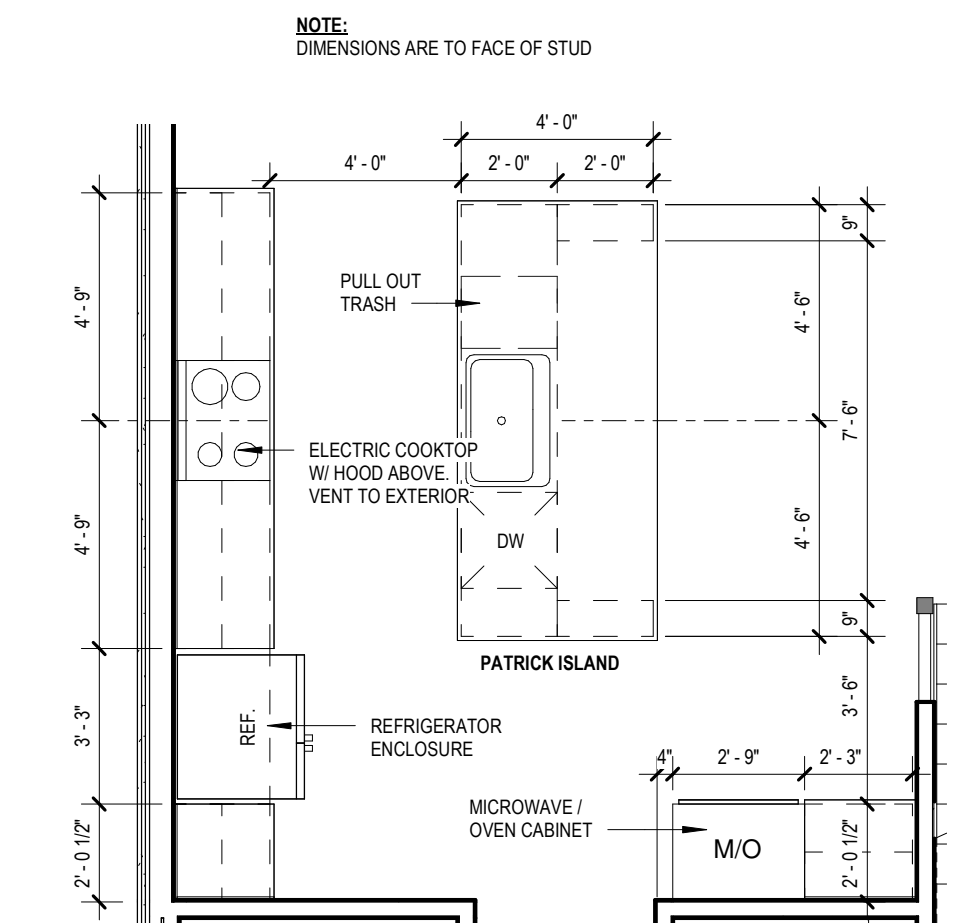
A3.6



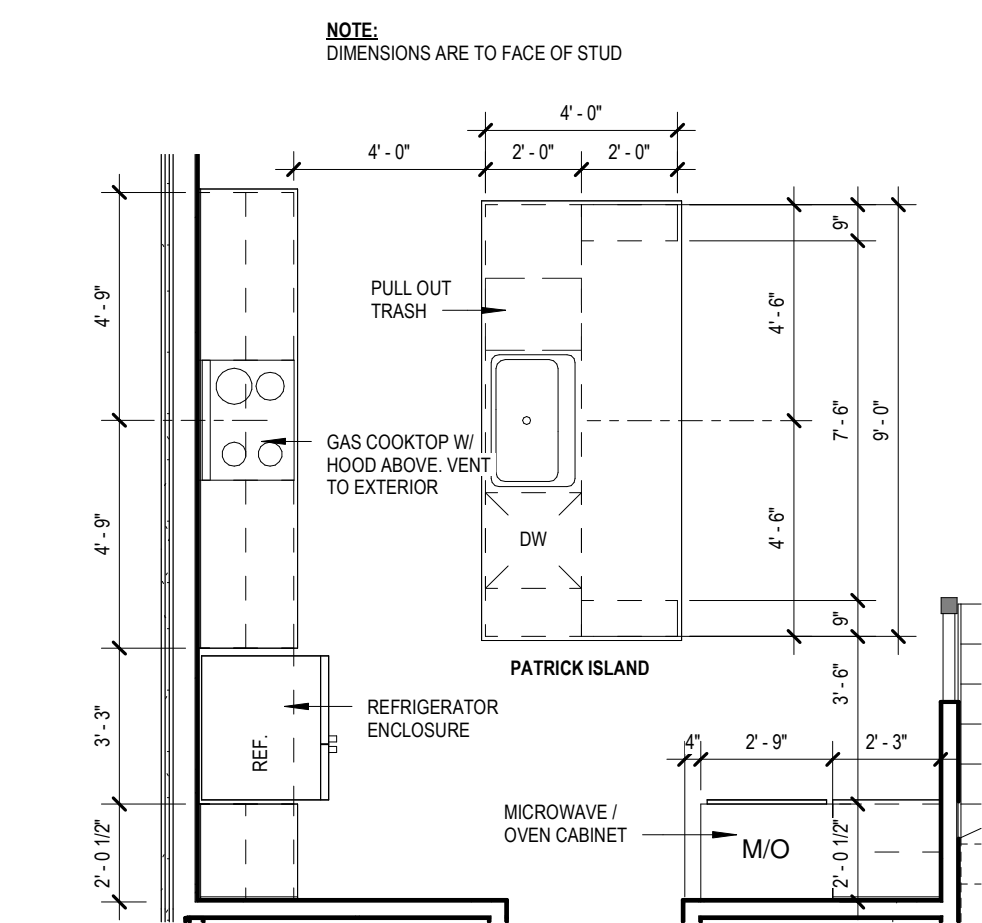
① UNIT #1 ENLARGED KITCHEN PLAN
1/4" = 1'-0"



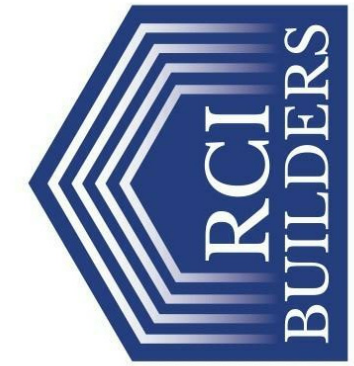
② UNIT #2 ENLARGED KITCHEN PLAN
1/4" = 1'-0"



③ UNIT #3 ENLARGED KITCHEN PLAN
1/4" = 1'-0"



④ UNIT #4 ENLARGED KITCHEN PLAN
1/4" = 1'-0"



9245 SHADY GROVE RD.
SUITE 200
MECHANICSVILLE, VA 23116
PHONE: 804-249-2818

STAGS TRAIL
ENLARGED KITCHEN PLAN
PAD "S"

DRAWN BY:
CW

DATE:
03/21/2025

REVISION:

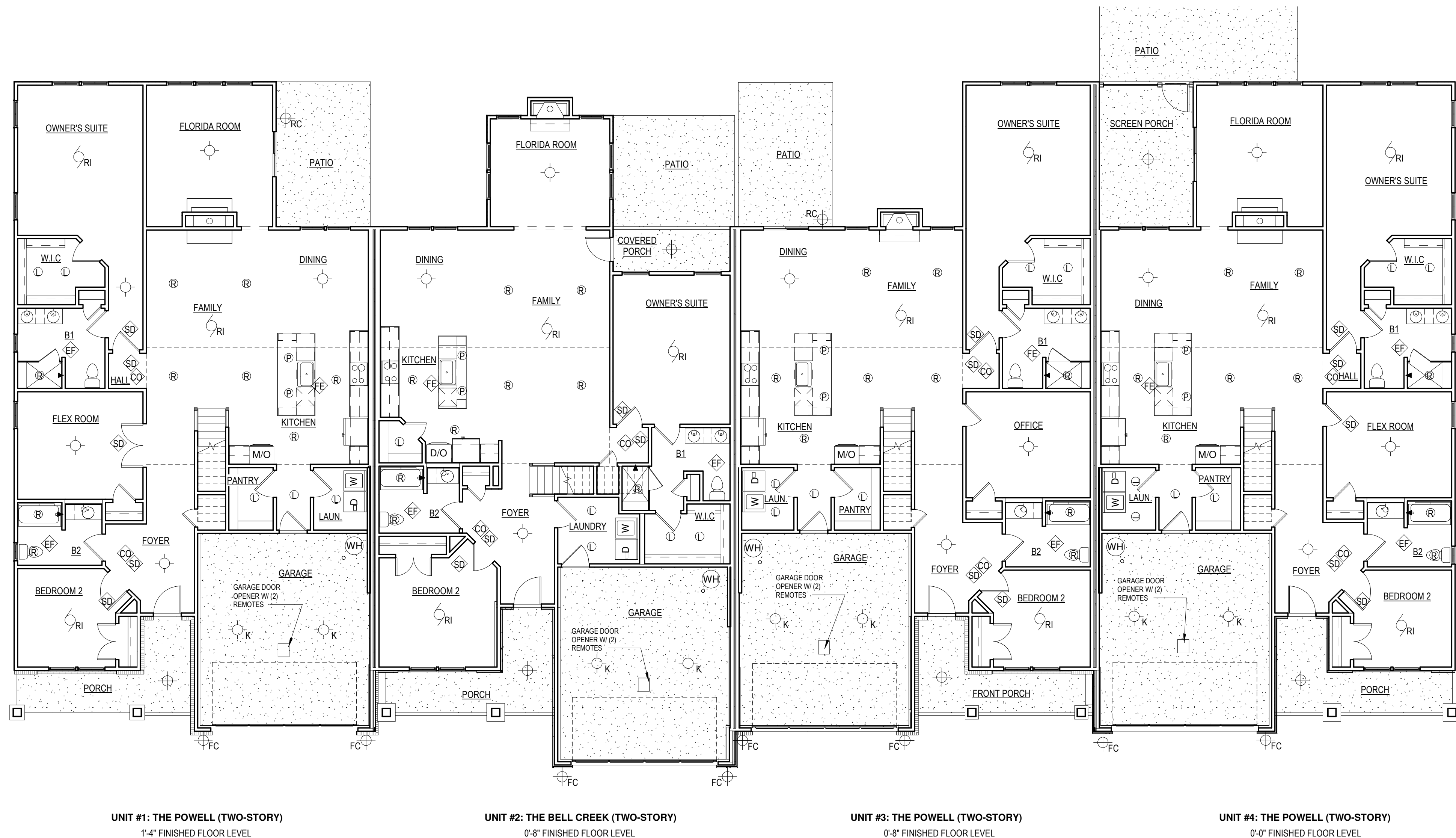
NUM	DATE	REV BY	DESCRIPT.
-----	------	--------	-----------

A3.7

ELECTRICAL FIXTURES		
TYPE	COUNT	COMMENTS
CEILING FAN ROUGH-IN	12	
CEILING LIGHT	17	
CEILING LIGHT - KEYLESS	14	
EXHAUST FAN	9	
FIRE EXTINGUISHER	4	2-A; 10-B; C RATED; INSTALLED
FRONT COACH	8	
LED LIGHT	26	
PENDANT LIGHT	8	
REAR COACH	2	
RECESSED LIGHT	36	(1) STD. IN OWNER'S SHOWER
SCONCE	14	
SURFACE MOUNT	6	

ELECTRICAL SYMBOL LEGEND

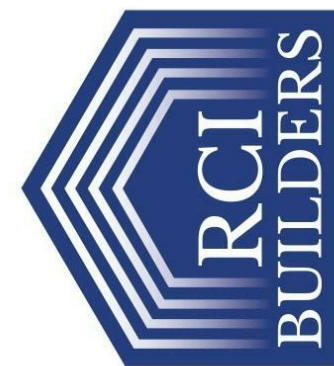
SD	SMOKE DETECTOR	FC	EXTERIOR FRONT COACH	SL	SPOTLIGHT	VS	VANITY SCONCE
CD	CO DETECTOR	RC	EXTERIOR REAR COACH	P	PENDANT LIGHT	EF	EXHAUST FAN
S	SWITCH - SINGLE			L	LED LIGHT	CL	CEILING LIGHT
S	SWITCH - 3 WAY			R	RECESSED LIGHT	CF	CEILING FAN
MB	METER BASE	K	KEYLESS LIGHT	CJ	CABLE JACK	BWC	BLOCK & WIRE CEILING FAN (NO INSTALL)
PP	POWER PANEL	▲	PHONE JACK				



1 FIRST FLOOR ELECTRICAL PLAN
1/8" = 1'-0"

0 4' 8' 16'

9245 SHADY GROVE RD.
SUITE 200
MECHANICSVILLE, VA 23116
PHONE: 804-249-2818



STAGS TRAIL
FIRST FLOOR ELECTRICAL PLAN
PAD "S"

DRAWN BY:
CW

DATE:
03/21/2025

REVISION:

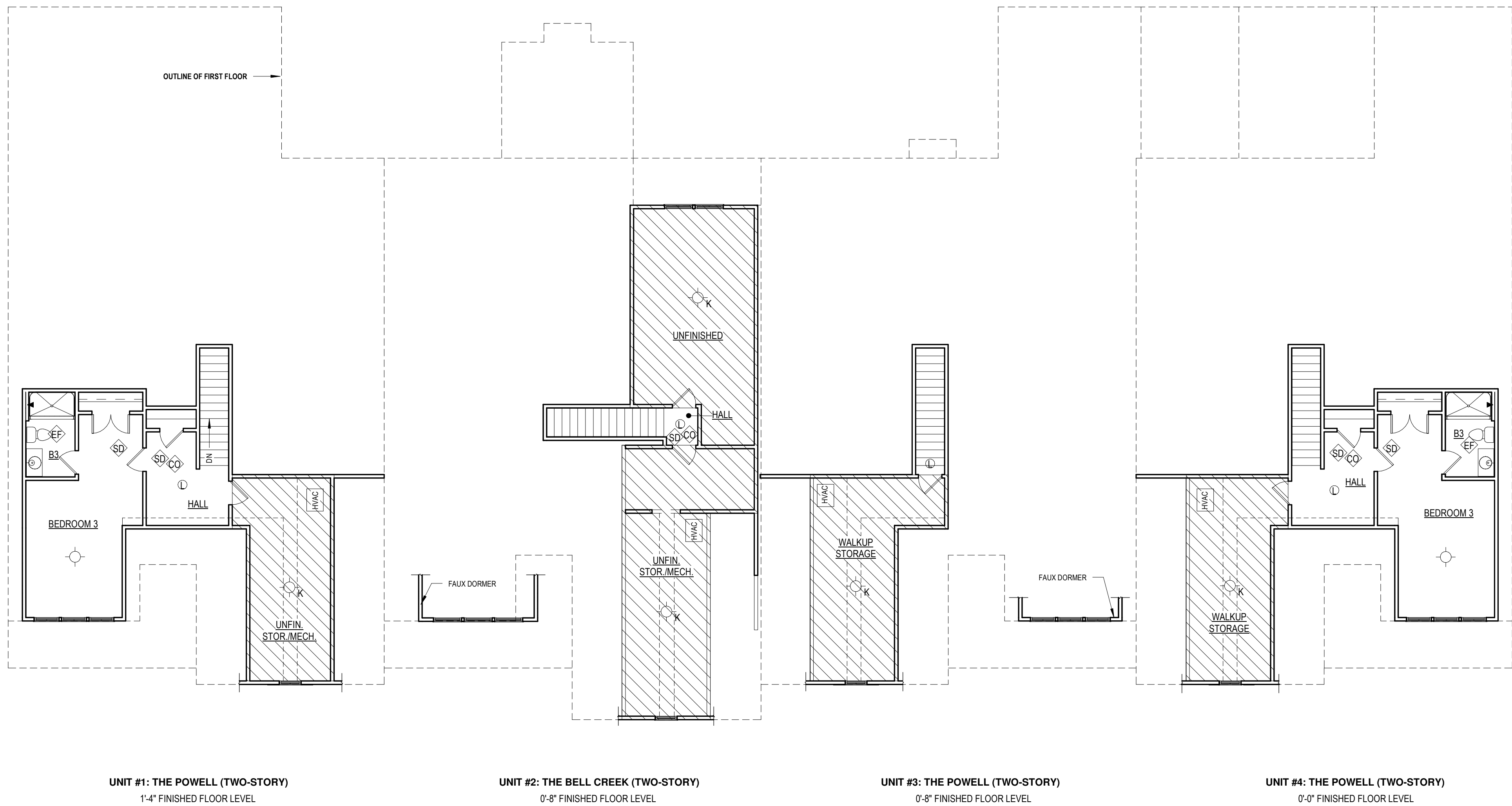
NUM	DATE	REV BY	DESCRIPT.
-----	------	--------	-----------

A3.8

ELECTRICAL FIXTURES		
TYPE	COUNT	COMMENTS
CEILING FAN ROUGH-IN	12	
CEILING LIGHT	17	
CEILING LIGHT - KEYLESS	14	
EXHAUST FAN	9	
FIRE EXTINGUISHER	4	2-A: 10-B; C RATED; INSTALLED
FRONT COACH	8	
LED LIGHT	26	
PENDANT LIGHT	8	
REAR COACH	2	
RECESSED LIGHT	36	(1) STD. IN OWNER'S SHOWER
SCONCE	14	
SURFACE MOUNT	6	

ELECTRICAL SYMBOL LEGEND

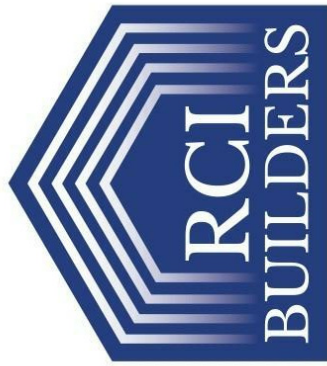
SD	SMOKE DETECTOR	FC	EXTERIOR FRONT COACH	SP	SPOTLIGHT	VS	VANITY SCONCE
CD	CO DETECTOR	RC	EXTERIOR REAR COACH	P	PENDANT LIGHT	EF	EXHAUST FAN
\$	SWITCH - SINGLE			L	LED LIGHT	CL	CEILING LIGHT
\$	SWITCH - 3 WAY			R	RECESSED LIGHT	CF	CEILING FAN
MB	METER BASE	K	KEYLESS LIGHT	CJ	CABLE JACK	R	BLOCK & WIRE CEILING FAN (NO INSTALL)
PP	POWER PANEL	▲	PHONE JACK				



① SECOND FLOOR ELECTRICAL PLAN
1/8" = 1'-0"

0 4' 8' 16'

9245 SHADY GROVE RD.
SUITE 200
MECHANICSVILLE, VA 23116
PHONE: 804-249-2818



STAGS TRAIL
SECOND FLOOR ELECTRICAL PLAN
PAD "S"

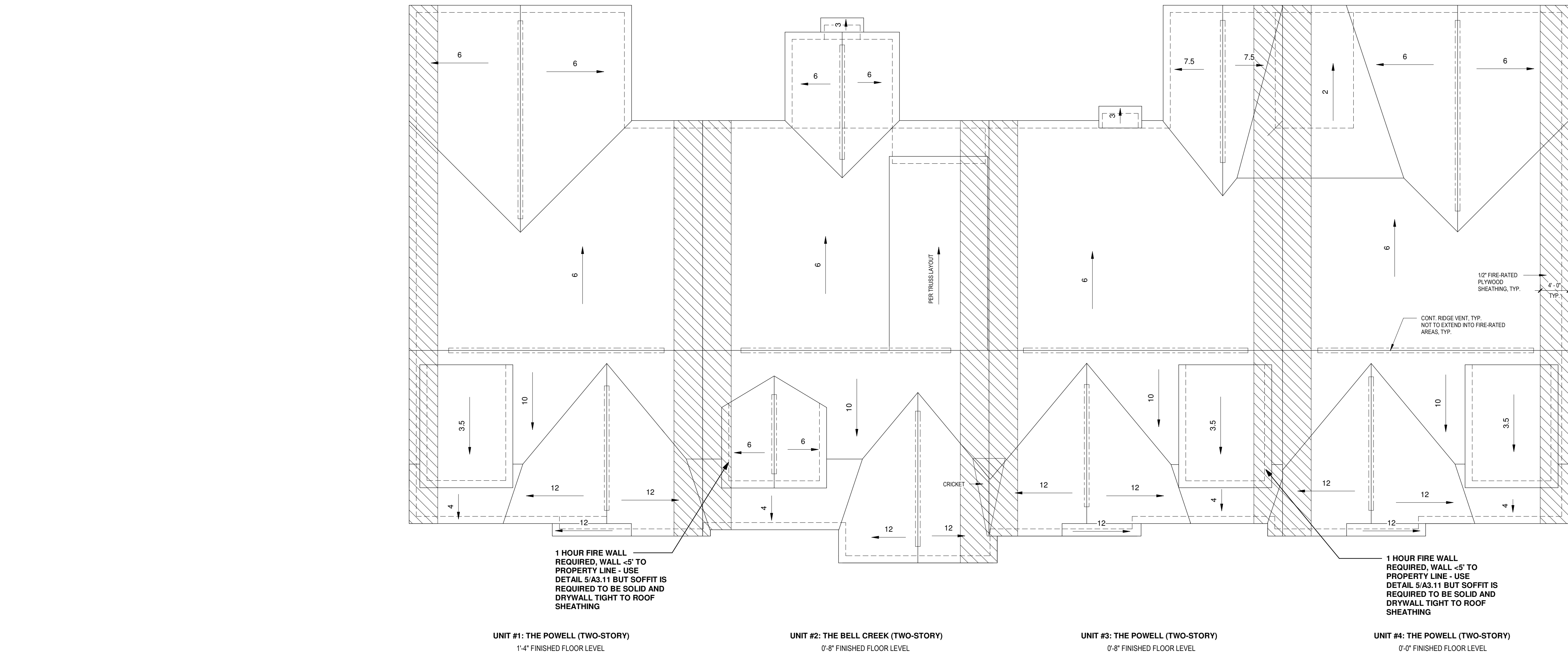
DRAWN BY:
CW

DATE:
03/21/2025

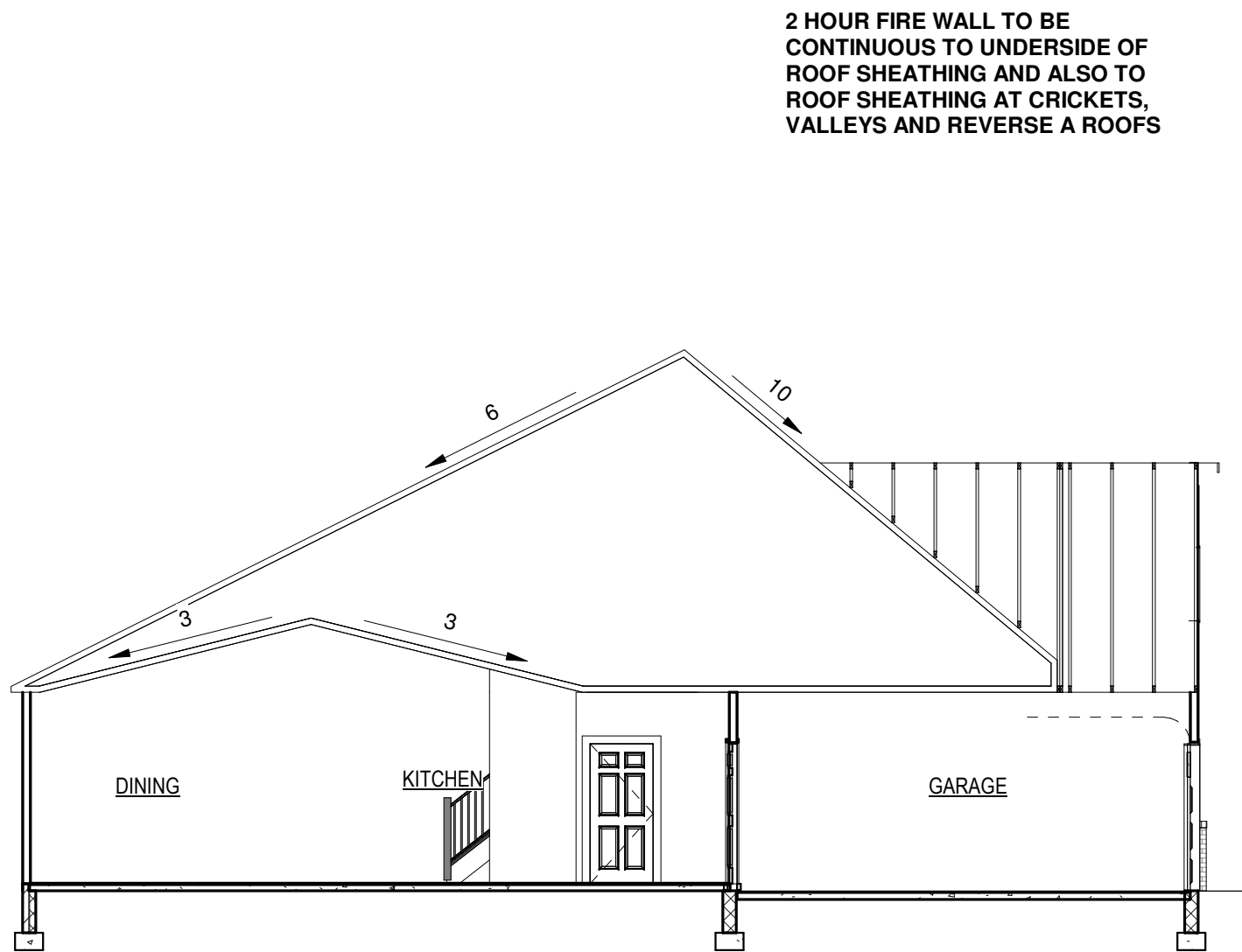
REVISION:

NUM	DATE	REV BY	DESCRIPT.
-----	------	--------	-----------

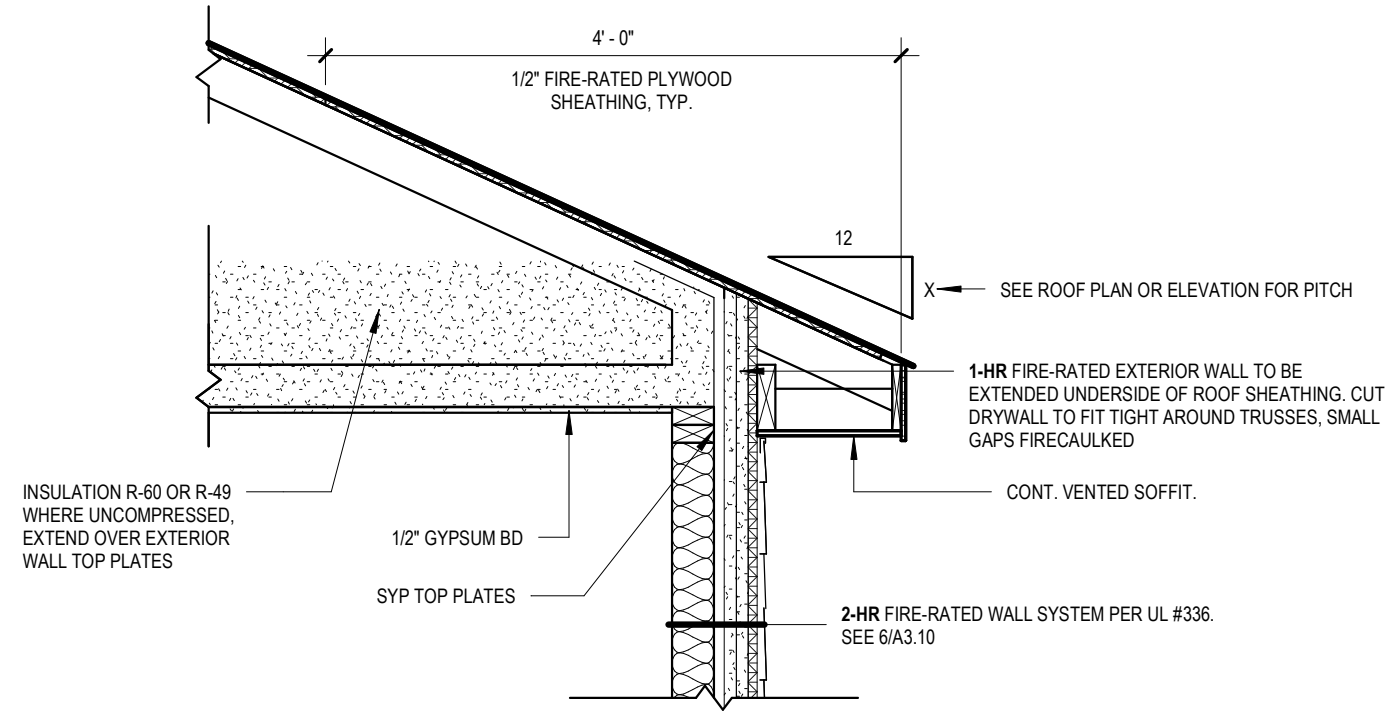
A3.9



1 ROOF PLAN
1/8" = 1'-0"

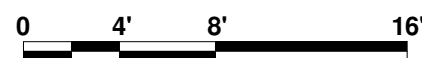


2 BUILDING SECTION
1/8" = 1'-0"

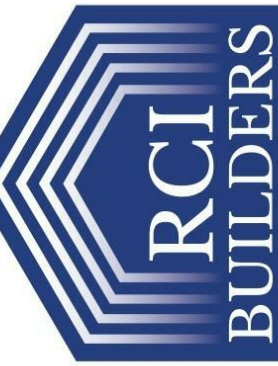


11 FIRE-RATED OVERHANG DETAIL
3/4" = 1'-0"

LEGEND
— LINE OF BEARING
5 → RAFTER SLOPE & DIRECTION
DOUBLE UNDERLAYMENT ON ROOF SLOPES 4/12" OR LESS



9245 SHADY GROVE RD.
SUITE 200
MECHANICSVILLE, VA 23116
PHONE: 804-249-2818



STAGS TRAIL
ROOF PLAN
PAD "S"

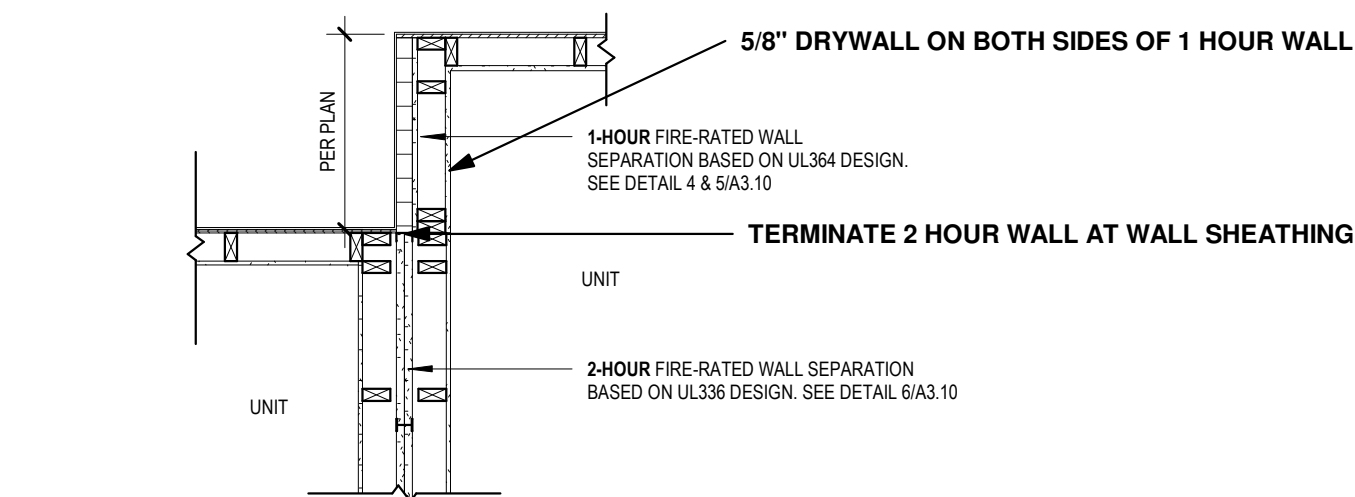
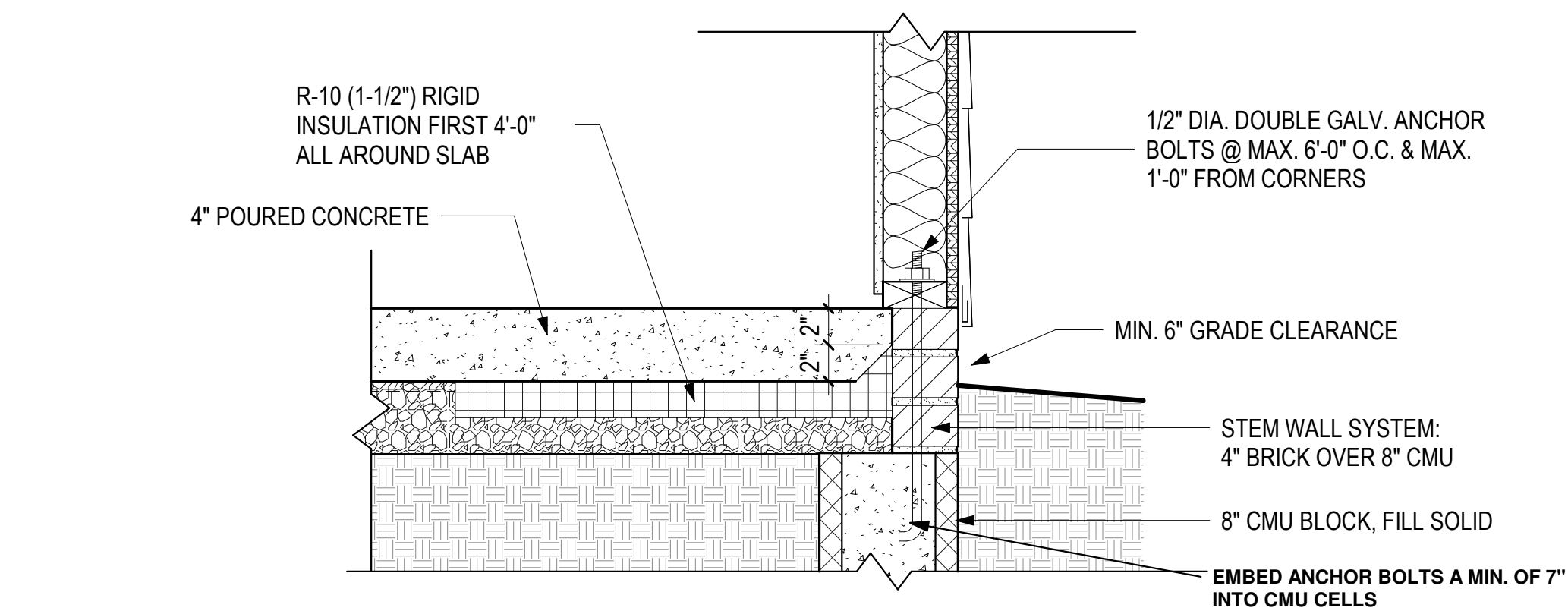
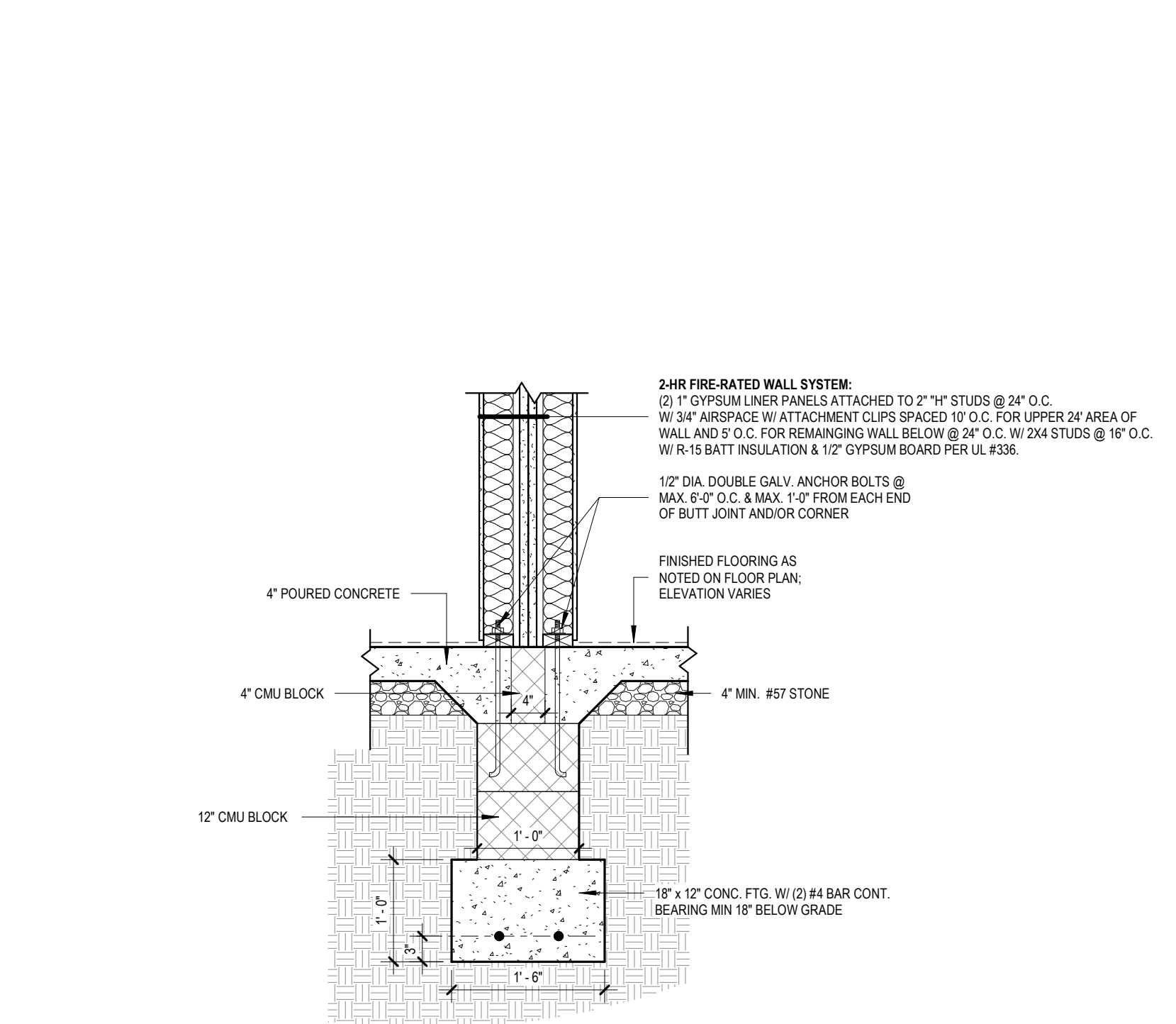
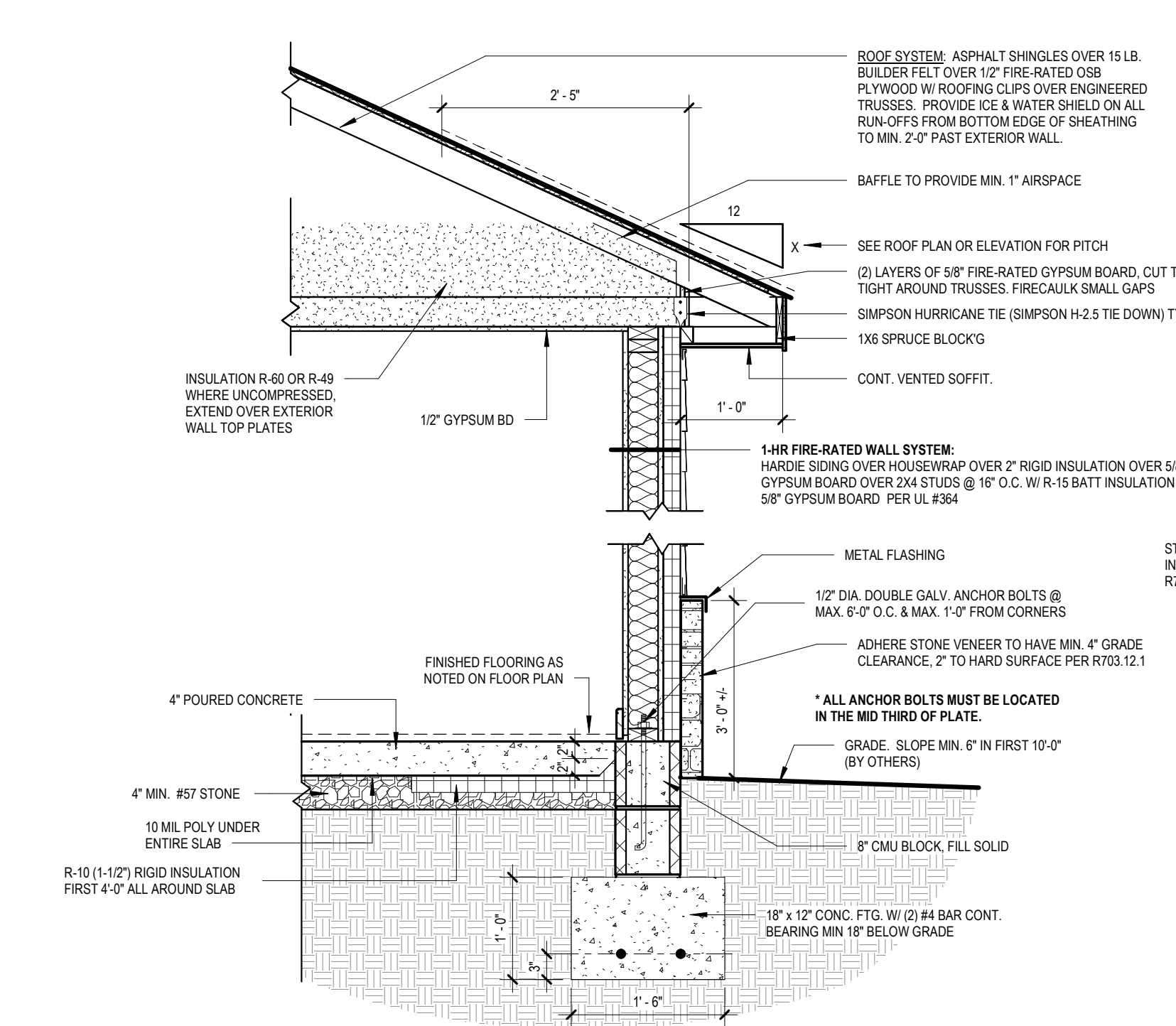
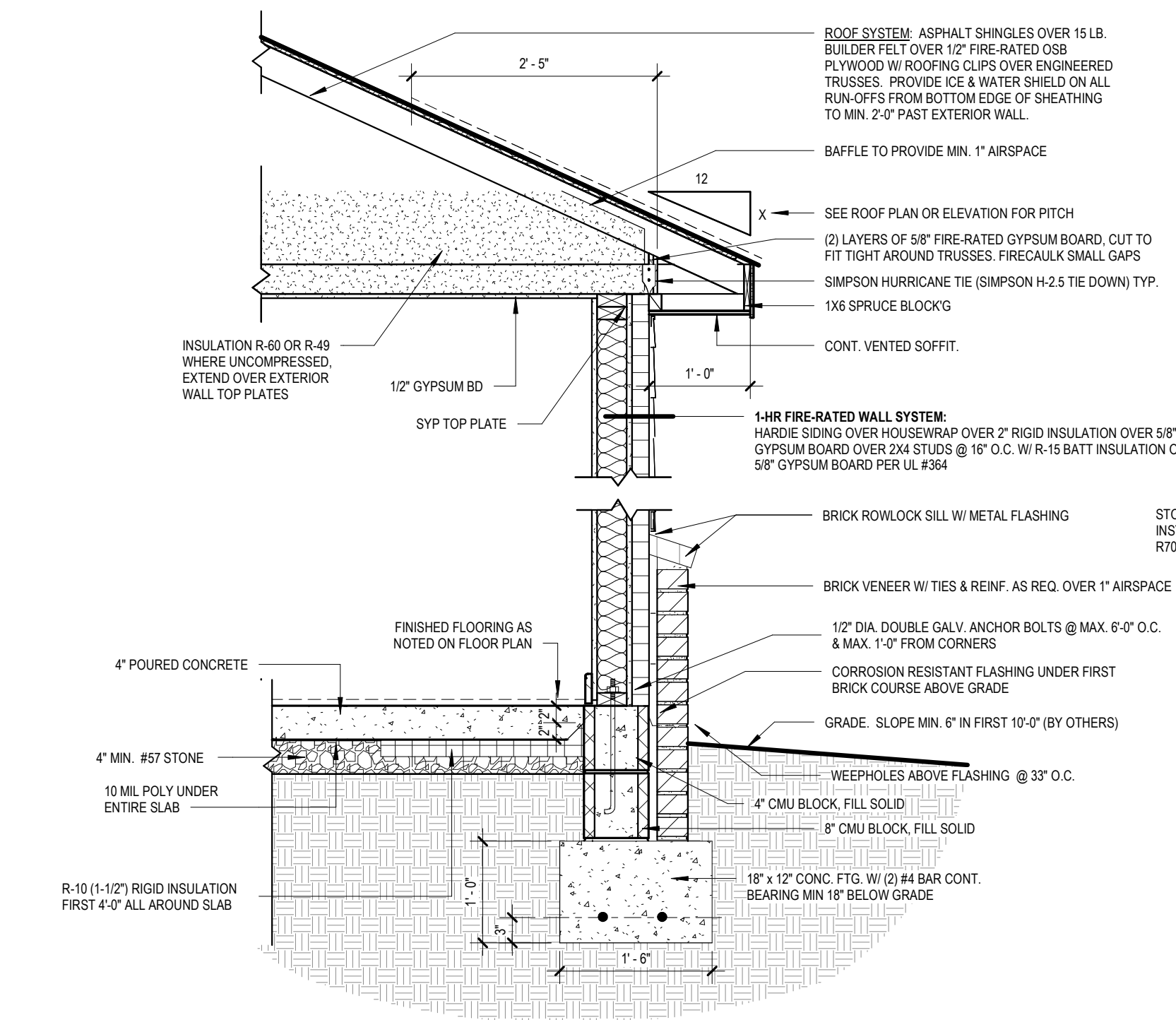
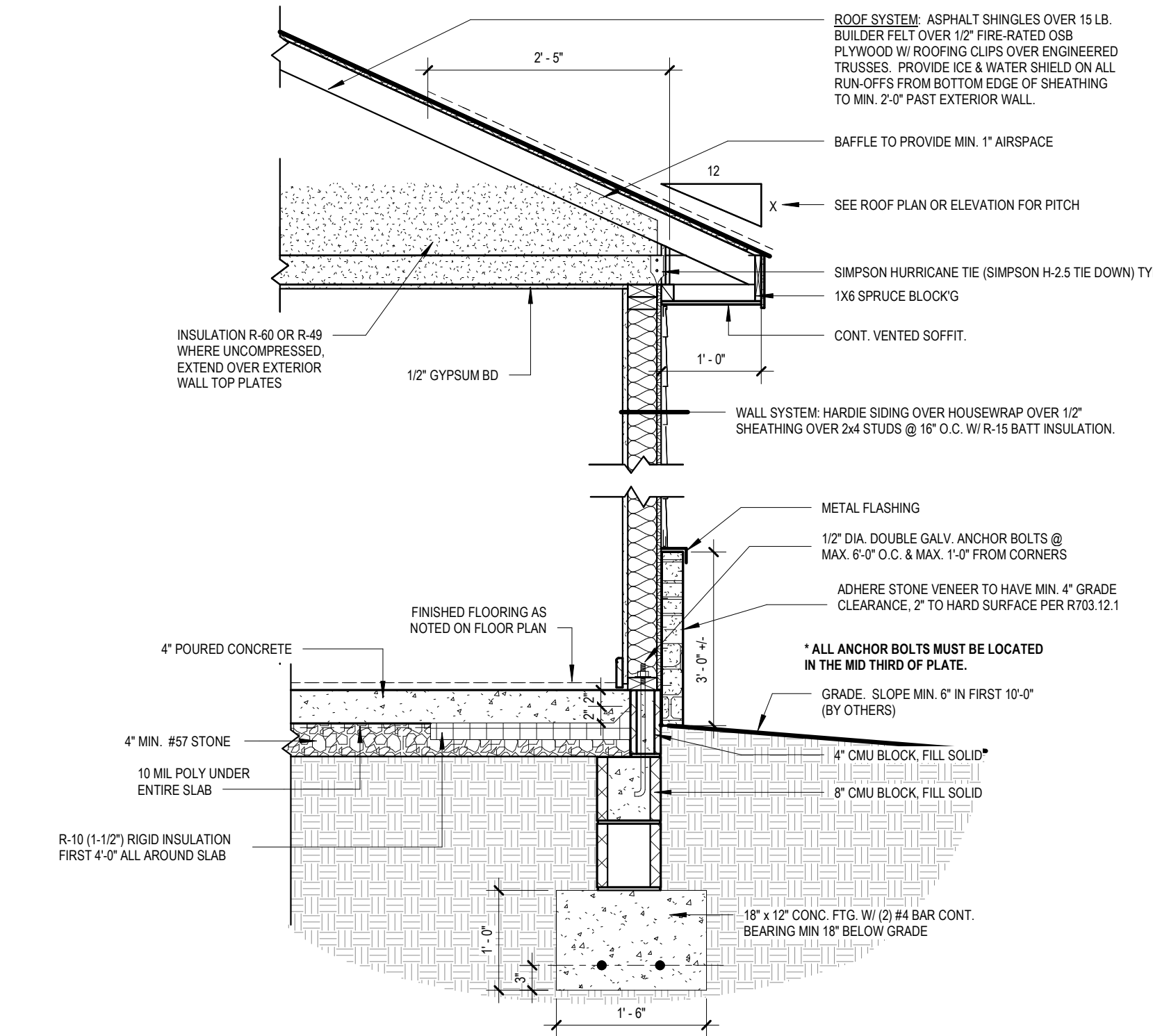
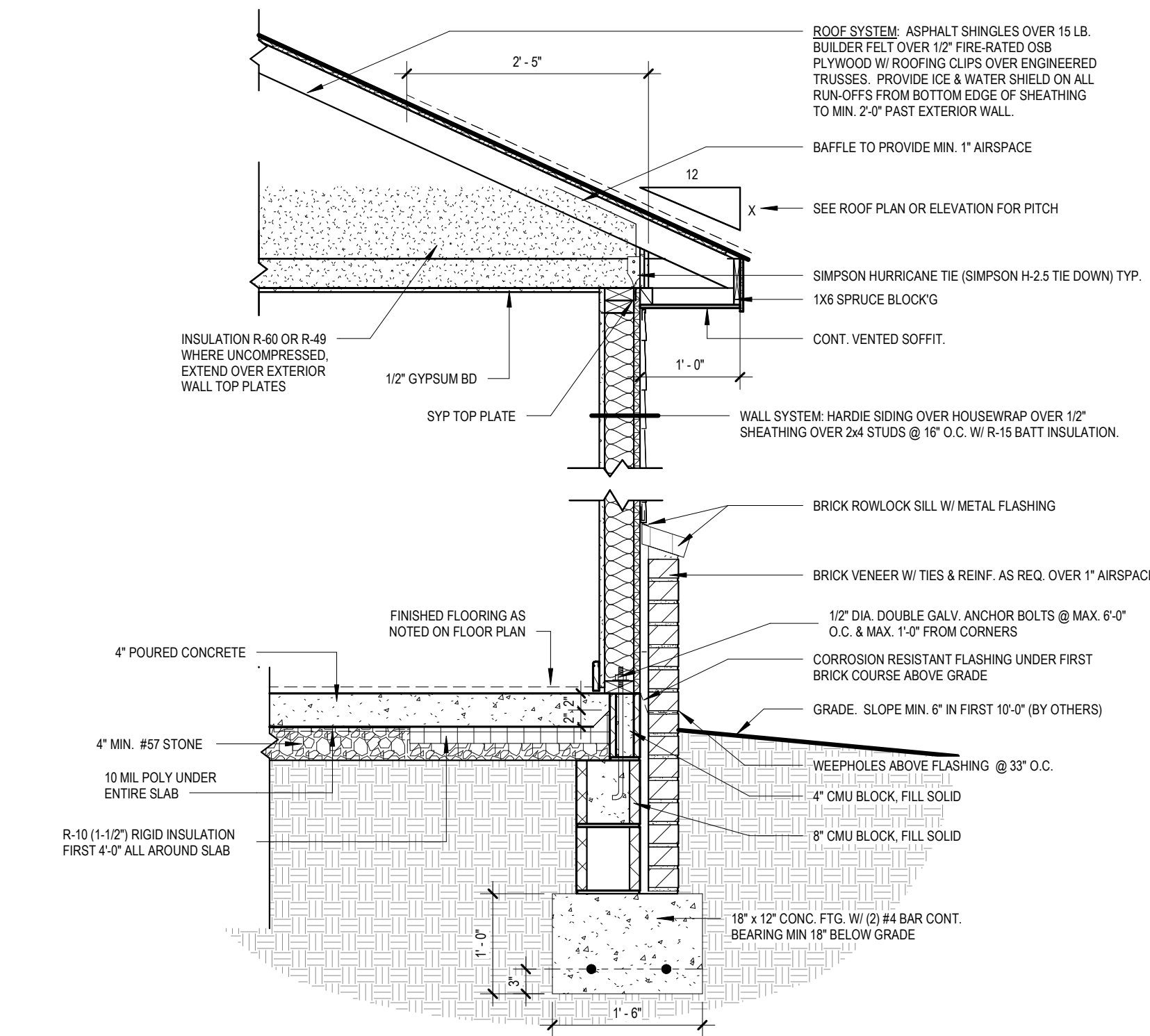
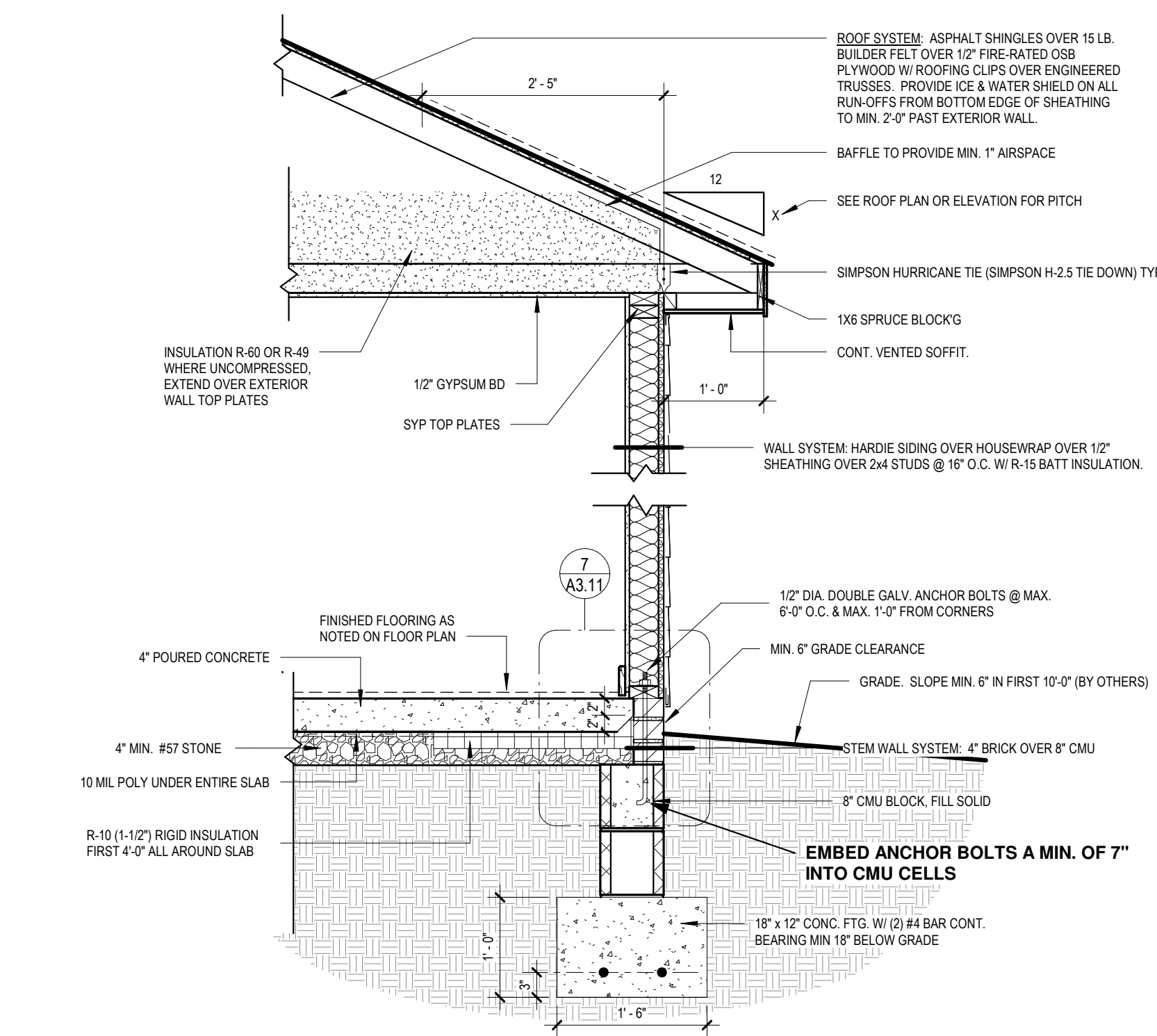
DRAWN BY:
CW

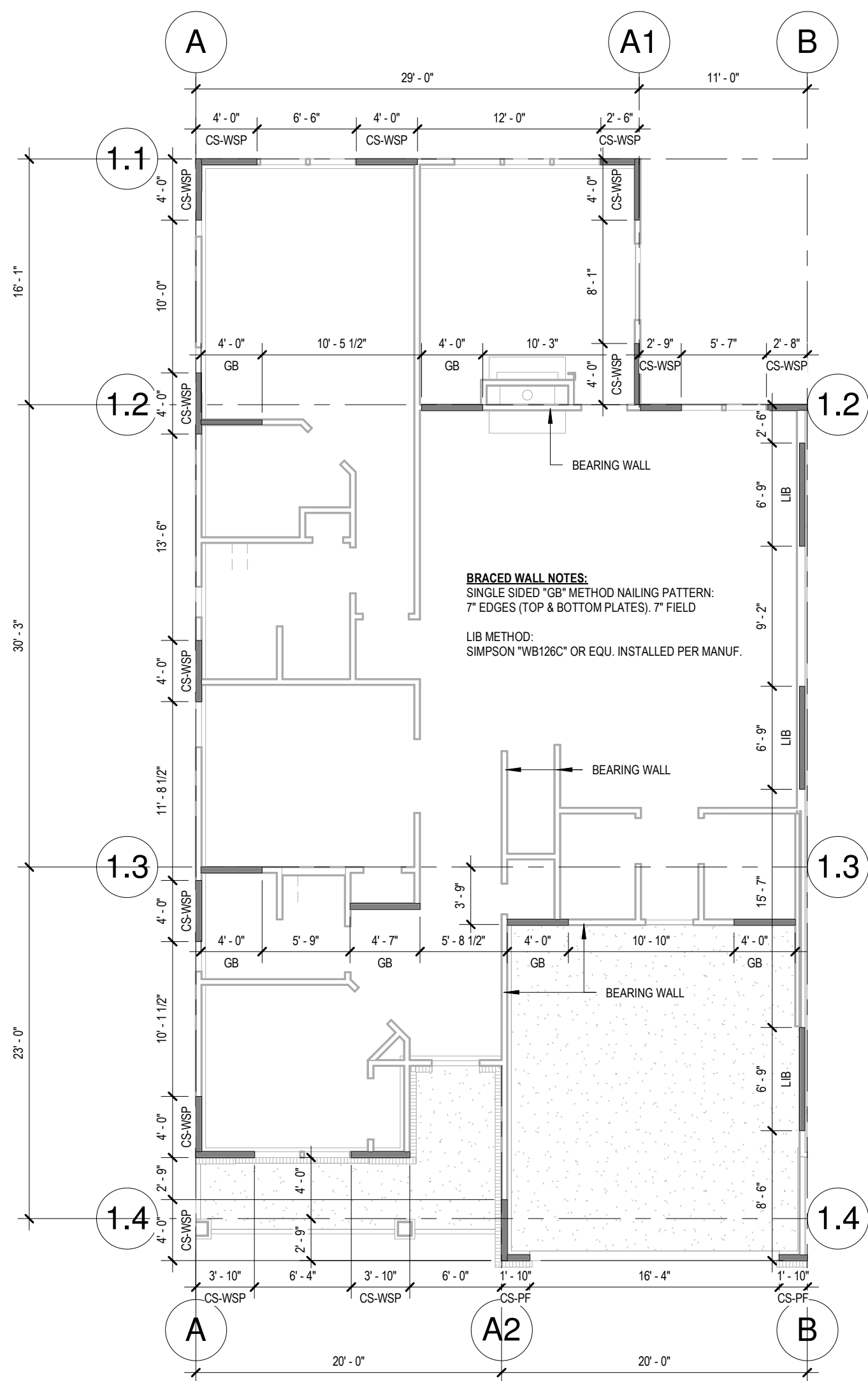
DATE:
03/21/2025

REVISION:

NUM	DATE	REV BY	DESCRPT.
-----	------	--------	----------

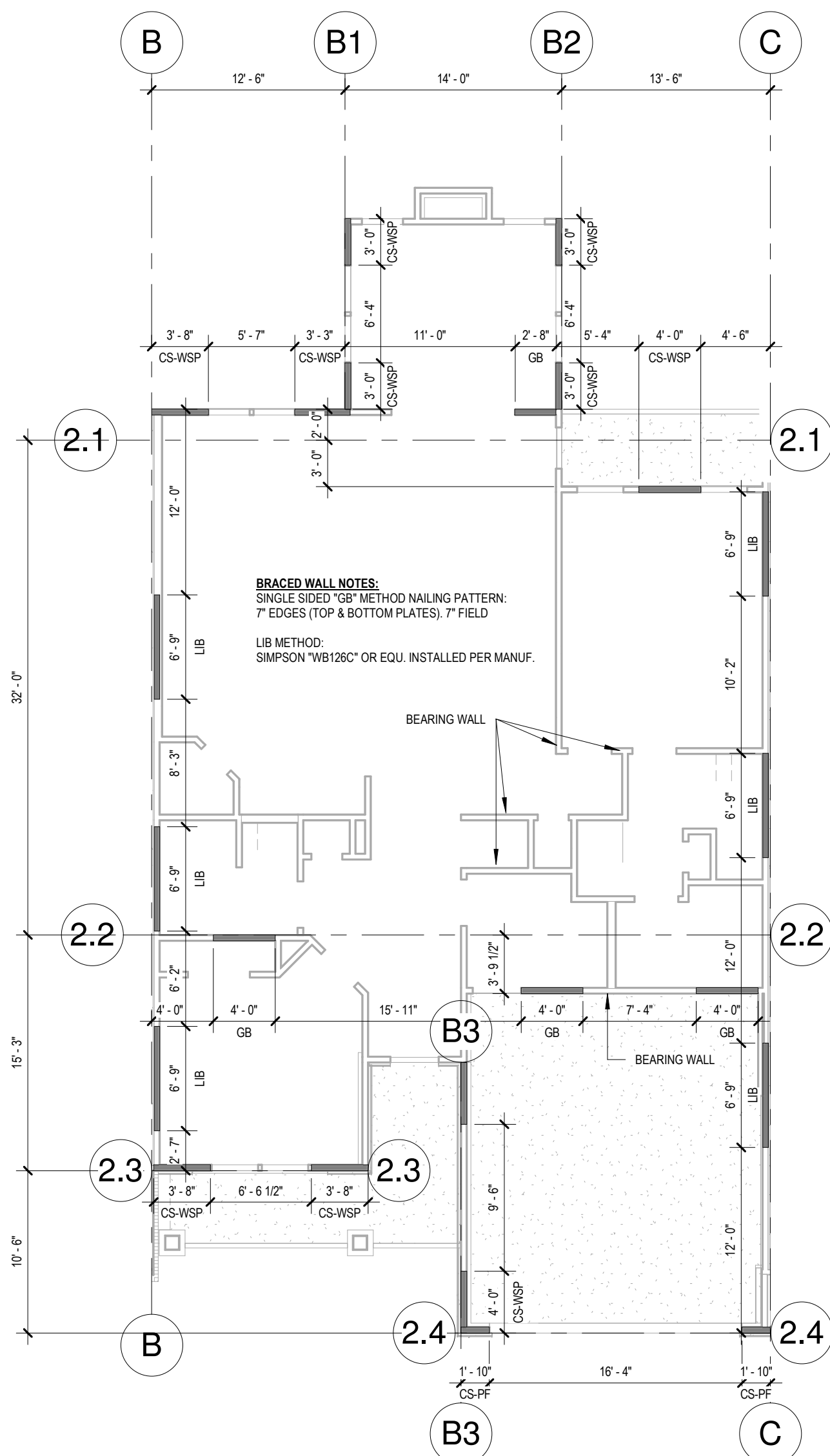
A3.10





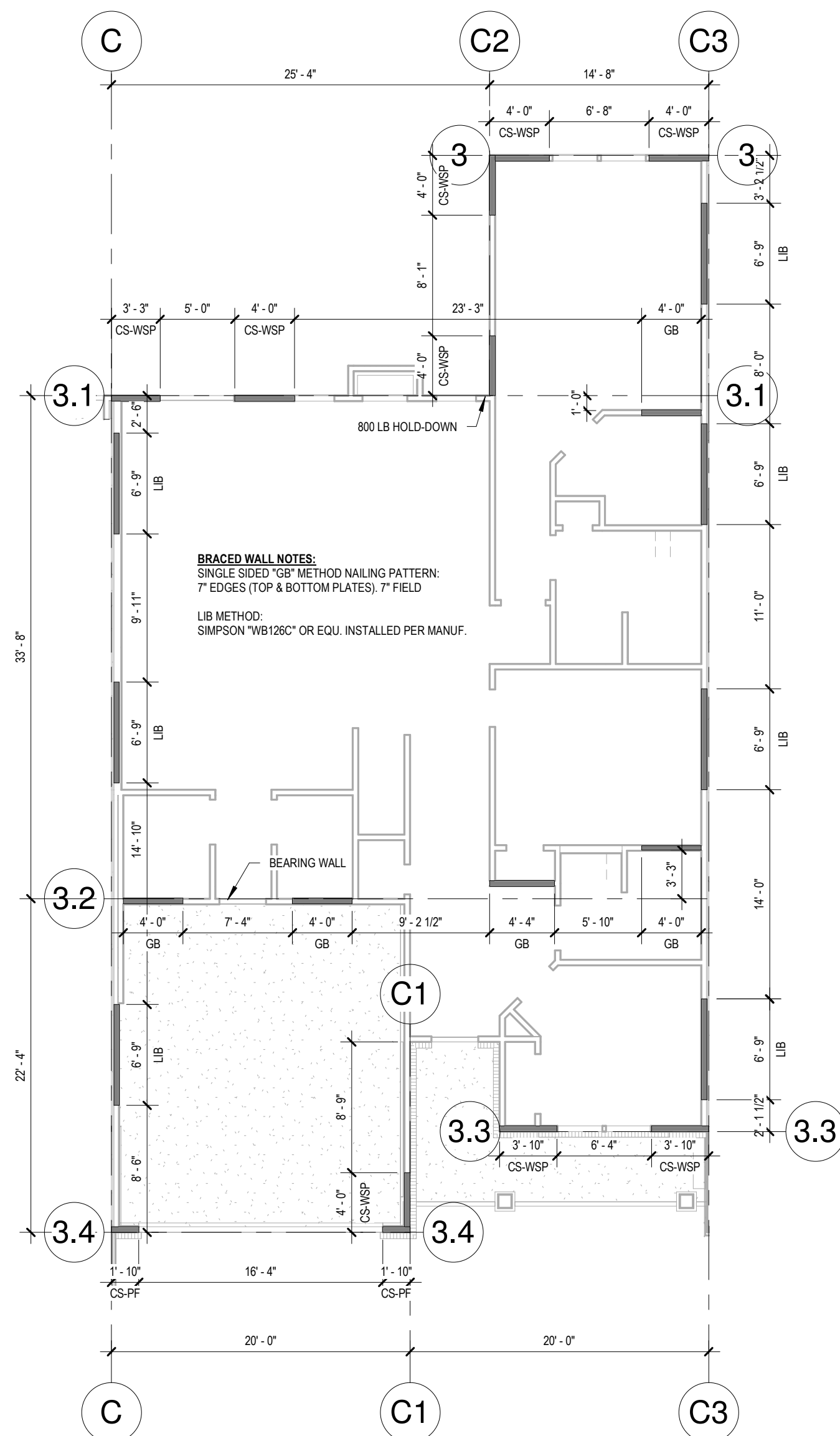
UNIT #1: THE POWELL (TWO-STORY)
1'-4" FINISHED FLOOR LEVEL

2 BRACED WALL LAYOUT - UNIT 1
1/8" = 1'-0"



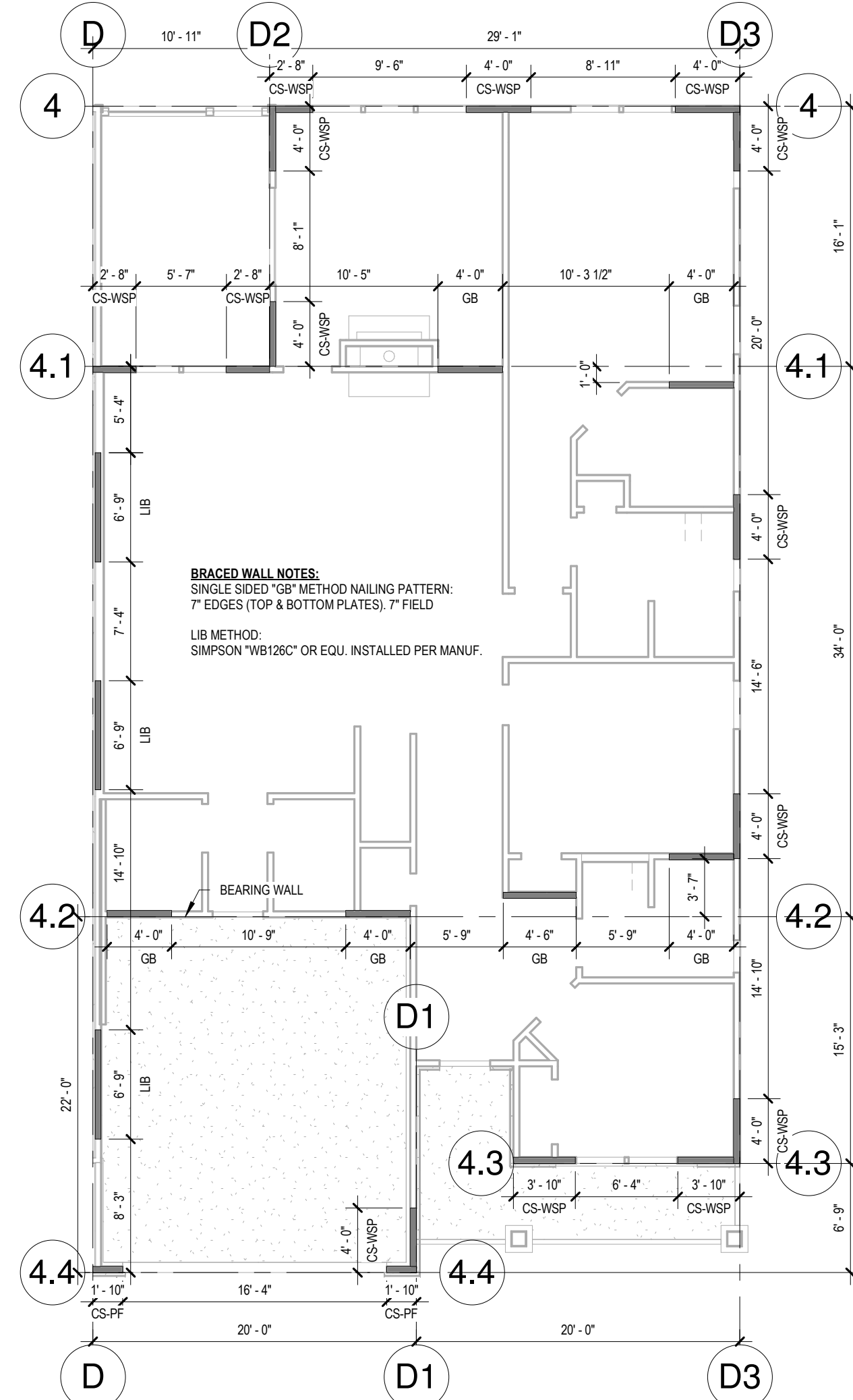
UNIT #2: THE BELL CREEK (TWO-STORY)
0'-8" FINISHED FLOOR LEVEL

3 BRACED WALL LAYOUT - UNIT 2
1/8" = 1'-0"



UNIT #3: THE POWELL (TWO-STORY)
0'-8" FINISHED FLOOR LEVEL

4 BRACED WALL LAYOUT - UNIT 3
1/8" = 1'-0"



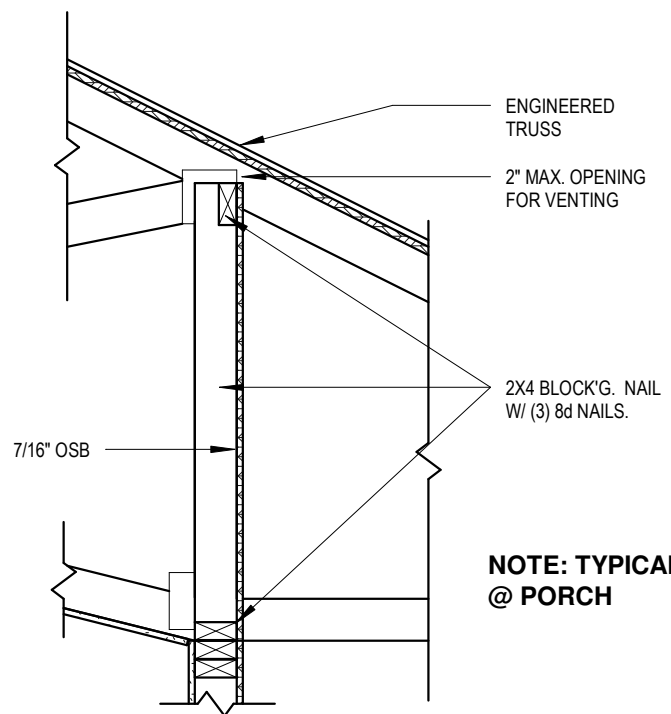
UNIT #4: THE POWELL (TWO-STORY)
0'-0" FINISHED FLOOR LEVEL

5 BRACED WALL LAYOUT - UNIT 4
1/8" = 1'-0"

LIB Wall Panel
bracing straps
cannot be spaced
more than 20' apart
per R602.10.2.2

1/2" ANCHOR BOLTS MAX 6" O.C. AND 4"-12" FROM SILL PLATE ENDS.
EMBED ANCHOR BOLTS MIN. 7". EXTERIOR WALLS AND INTERIOR
BEARING AND BRACED WALLS

BRACED WALL CONNECTIONS TO FLOOR
AND ROOF FRAMING AS PER R602.10.8.2

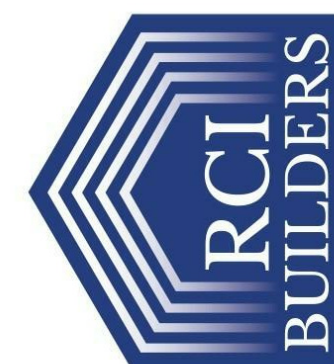


1 BLOCKING ABOVE BW PANEL
3/4" = 1'-0"

LEGEND
— BRACED WALL PANEL
--- BRACED WALL LINE

0 4' 8' 16'

9245 SHADY GROVE RD.
SUITE 200
MECHANICSVILLE, VA 23116
PHONE: 804-249-2818



STAGS TRAIL
BRACED WALL PLAN
PAD "S"

DRAWN BY:
CW

DATE:
03/21/2025

REVISION:

NUM	DATE	REV BY	DESCRIPTION
-----	------	--------	-------------

A4.5